

*OWOSSO*  
*Planning Commission*



Regular Meeting  
7:00pm, Monday, June 22, 2015  
Owosso City Council Chambers



## MEMORANDUM

---

301 W. MAIN ▪ OWOSSO, MICHIGAN 48867-2958 ▪ WWW.CI.OWOSSO.MI.US

---

DATE: June 18, 2015

TO: Chairman Wascher and the Owosso Planning Commission

FROM: Susan Montenegro, asst. city manager/director of community development

RE: Planning Commission Meeting: June 22, 2105

**The planning commission shall convene at 7:00pm on Monday, June 22, 2015 in the city council chambers of city hall.**

This month's meeting has one site plan review for the Dollar General store going in at 210 S. Shiawassee. I did not have time to get the public notice out for the M-71 rezoning so that will move to next month's meeting. We can start identifying rail yards and railroads for appropriate zoning during this meeting as well.

Please feel free to contact me at 989.725.0554 or at [susan.montenegro@ci.owosso.mi.us](mailto:susan.montenegro@ci.owosso.mi.us) if you have questions. Please **RSVP for the meeting**. I look forward to seeing you all on the 22nd!

**AGENDA**  
**Owosso Planning Commission**  
Monday, June 22, 2015 at 7:00 p.m.  
Council Chambers – Owosso City Hall  
Owosso, MI 48867

CALL MEETING TO ORDER:

PLEDGE OF ALLEGIANCE:

ROLL CALL:

APPROVAL OF AGENDA: June 22, 2015

APPROVAL OF MINUTES: May 26, 2015

COMMUNICATIONS:

1. Staff memorandum.
2. PC minutes from May 26, 2015.
3. Site plan review packet for 210 S. Shiawassee.

COMMISSIONER/PUBLIC COMMENTS:

PUBLIC HEARINGS:

None

SITE PLAN REVIEW:

1. 210 S. Shiawassee

BUSINESS ITEMS:

None

ITEMS OF DISCUSSION:

1. Identification of railroads/yards for appropriate zoning purposes.

COMMISSIONER/PUBLIC COMMENTS:

ADJOURNMENT: Next meeting will be Monday, July 27, 2015.

**Commissioners, please call Sue at 725-0544 if you will be unable to attend the meeting on Monday, June 22, 2015**

[The City of Owosso will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audiotapes of printed materials being considered at the meeting, to individuals with disabilities at the meeting/hearing upon seventy-two (72) hours notice to the City of Owosso. Individuals with disabilities requiring auxiliary aids or services should contact the City of Owosso by writing or calling the following: Amy Kirkland, City Clerk, 301 W. Main St, Owosso, MI 48867 (989) 725-0500]. The City of Owosso website is: [www.ci.owosso.mi.us](http://www.ci.owosso.mi.us)

**Affirmative Resolutions**  
**Owosso Planning Commission**  
Monday, June 22, 2015 at 7:00 p.m.  
Council Chambers – Owosso City Hall  
Owosso, MI 48867

**Resolution 150622-01**

Motion: \_\_\_\_\_  
Support: \_\_\_\_\_

The Owosso Planning Commission hereby approves the agenda of June 22, 2015 as presented.

Ayes: \_\_\_\_\_  
Nays: \_\_\_\_\_  
Approved: \_\_\_\_ Denied:\_\_\_\_

**Resolution 150622-02**

Motion: \_\_\_\_\_  
Support: \_\_\_\_\_

The Owosso Planning Commission hereby approves the minutes of May 26, 2015 as presented.

Ayes: \_\_\_\_\_  
Nays: \_\_\_\_\_  
Approved: \_\_\_\_ Denied:\_\_\_\_

**Resolution 150622-03**

Motion: \_\_\_\_\_  
Support: \_\_\_\_\_

The Owosso Planning Commission hereby approves the application for site plan review for Dollar General, 210 S. Shiawassee Street as applied and attached hereto in plans dated June 12, 2015 (revised).

Ayes: \_\_\_\_\_  
Nays: \_\_\_\_\_  
Approved: \_\_\_\_ Denied:\_\_\_\_

**Resolution 150622-04**

Motion: \_\_\_\_\_  
Support: \_\_\_\_\_

The Owosso Planning Commission hereby adjourns the June 22, 2015 meeting, effective at \_\_\_\_\_pm.

Ayes: \_\_\_\_\_  
Nays: \_\_\_\_\_  
Approved: \_\_\_\_ Denied:\_\_\_\_



**MINUTES  
REGULAR MEETING OF THE OWOSSO PLANNING COMMISSION  
COUNCIL CHAMBERS - OWOSSO CITY HALL  
TUESDAY MAY 26, 2015, 7:00 P.M.**

**CALL MEETING TO ORDER:** Chairman Wascher called the meeting to order at 7:00 p.m.

**PLEDGE OF ALLEGIANCE:** was recited by all present.

**ROLL CALL:** Roll Call was taken by Recording Secretary Denice Grace.

**MEMBERS PRESENT:** Chairman William Wascher, Commissioner Mike O'Leary, Vice-Chairperson Frank Livingston, Commissioners Brent Smith, Janae Fear, Craig Weaver, and David Bandkau.

**MEMBERS ABSENT:** None.

**OTHERS PRESENT:** Todd Stuve, P.E. Engineering Department Assistant Director, Exxel Engineering, Inc.; Peter Oleszczuk, Midwest V, LLC; Sue Montenegro, Assistant City Manager

**APPROVAL OF AGENDA:**  
**MOTION BY VICE-CHAIRPERSON LIVINGSTON, SUPPORTED BY COMMISSIONER WEAVER TO APPROVE THE AGENDA FOR MAY 26, 2015.**  
**YEAS ALL. MOTION CARRIED.**

**APPROVAL OF MINUTES:**  
**MOTION BY COMMISSIONER BANDKAU, SUPPORTED BY COMMISSIONER TAYLOR TO APPROVE THE MINUTES FOR THE MARCH 23, 2015 MEETING.;**  
**YEAS ALL. MOTION CARRIED.**

**COMMUNICATIONS:**

1. Staff memorandum.
2. PC minutes march 23, 2015 April 27, 2015.
3. Industrial zoning language.
4. Rezoning application packet for 210 S. Shiawassee.

**Commissioner/Public Comments:**  
No public comments. Chairperson Wascher welcomed Janae Fear as a new commissioner.

**PUBLIC HEARINGS:**

1. Rezoning of 210 S. Shiawassee- Dollar General Site -  
Todd Stuve, Project Engineer, provided details for the proposed site of a new Dollar General store on south M-52. It is comprised of four (4) platted lots, seven (7) tax properties, and five (5) rental properties. The seven parcels are currently zoned I-1 and Todd asked to have them rezoned to B-1 local business district. One of the renters on the property –  
  
Shirley Chalker - 502 Genesee, is on disability and is worried that she won't be able to find housing in her price range and asked the board to vote no.  
  
Bev Irvey - 508 Genesee, wants to know when she will have to move. She states that her landlord has not told her anything. She has kids and dogs that will take time to move.  
  
Commissioner O'Leary asked if all the properties are combined into one parcel. Mr. Stuve says there are seven separate parcels. Commissioner O'Leary expressed concern about splitting up the parcels for

rezoning which in the future could open them up for seven different uses if Dollar General does not happen.

Commissioner Taylor asked how many people will be displaced. Mr. Stuve says five homes would be demoed and will affect the families living in them.

Commissioner Bandkau says timeline for construction could start as soon as the fourth Monday in June. The current Dollar General lease expires in 2016. The Henry family owns the property. No demolition is planned for the immediate future but might start before winter and would not be completed until spring 2016. Rentals are month to month. Mr. Stuve thinks there may be six houses, not five as previously stated. One parcel is an empty lot. Mr. Stuve also stated official notices were sent to property dwellers. Construction may begin as soon as November of this year. Commissioner Bandkau stated B-1 zoning is the most restrictive of the business zones. Commissioner Bandkau thinks B-4 zoning makes more sense with the presence of the intersections and the heavy traffic generated in that area. Bandkau also stated Dollar General is a general merchandise store not a box store.

Commissioner Fear asked if the area was already designated in the city's master plan. Commissioner Weaver stated that Dollar General makes all of their stores uniform in appearance. They do not own their current building and would be leasing the new building too. Commissioner Fear sees it as a natural progression, Commissioner Weaver agreed. Commissioner Fear asked if they had a preliminary site plan. Mr. Stuve said yes but that they will be coming back to the next meeting for site plan approval as the current one is preliminary. Mr. Stuve did show the preliminary site plan and shows that parking will be behind the new building. Mr. Stuve and his firm will be meeting with M-DOT.

**MOTION BY COMMISSIONER BANDKAU, SUPPORTED BY COMMISSIONER WEAVER THAT THE OWOSSO PLANNING COMMISSION HEREBY APPROVES THE APPLICATION TO REZONE THE FOLLOWING ADDRESSES TO THE B-1 ZONING: 202. S. SHIAWASSEE, 206 S. SHIAWASSEE, 210 S. SHIAWASSEE, 214 S. SHIAWASSEE, 511 CLINTON, 502 GENESEE AND 508 GENESEE. YEAS ALL. MOTION CARRIED.**

**BUSINESS ITEMS:**

1. M-71 rezoning

Ms. Montenegro brought up a potential zoning change at 405 S. Washington from B-4 to I-1 to match other railway zoning. Discussion continued whether rail yard or railways should be I-1 or I-2 zoning. Commissioner Weaver suggested planning commission finish its current set of property rezoning before tackling railway/rail yards. Commissioner O'Leary asked if the planning commission has jurisdiction to rezone railways or rail yards and also wants to finish up the rezoning along the M-71 Corridor. Commissioner Bandkau stated some of the area is abandoned rail lines/tracks.

**MOTION BY COMMISSIONER BANDKAU, SUPPORTED BY COMMISSIONER SMITH TO APPROVE THE FOLLOWING ZONING CHANGES ALONG THE M-71 CORRIDOR:**

Parcel Address	Parcel Number	Current Zoning	Proposed Zoning
424Maple	050-710-000-001-00	R-2	R-1
416 Maple	050-710-000-003-00	R-2	R-1
637 Corunna Ave	050-710-000-002-00	R-2	R-1
633 Corunna Ave	050-542-000-019-00	R-2	R-1

*706 Corunna Ave	050-542-000-032-00	RM-1	B-4
625 Huron	050-542-000-022-00	I-2	I-1
460 E. Howard	050-680-003-004-00	R-2	I-1
452 E. Howard	050-680-003-003-00	R-2	I-1
446 E. Howard	050-680-003-002-00	R-2	I-1
440 E. Howard	050-680-003-001-00	R-2	I-1
429 E. Howard	050-680-002-002-00	R-2	I-2
Division Street	050-680-001-001-00	R-1	I-2
401 E. Howard	050-680-002-003-00	I-2	I-2
330 Howard	050-651-018-001-00	I-2	I-1
514 Division	050-651-018-003-00	I-2	I-1
515 S. Saginaw	050-651-018-004-00	I-2	I-1
509 S. Saginaw	050-651-018-002-00	I-2	I-1
514 Saginaw	050-651-019-004-00	I-2	B-4
510 S. Saginaw	050-651-019-002-00	I-2	B-4
515 S. Park	050-651-019-001-00	I-2	B-4
517 S. Park	050-651-019-009-00	I-2	B-4
S Park St	050-651-019-003-00	I-2	B-4
E. Howard	050-651-000-004-00	I-2	I-1
S. Washington	050-651-000-005-00	I-2	I-1

**YEAS ALL. MOTION CARRIED.**

2. Industrial rezoning language

Ms. Montenegro sent the revised language for section 38-312 to Gregg Jones of TiAL Products to review to ensure the language would not inhibit foundry use. The intent is to have more restrictive use language for heavier industrial uses without having to create a new industrial district.

**MOTION BY COMMISSIONER BANDKAU, SUPPORTED BY VICE-CHAIRPERSON LIVINGSTON THAT THE OWOSSO PLANNING COMMISSION HEREBY APPROVE THE CHANGES TO THE ZONING LANGUAGE IN SECTION 38-312 OF THE CITY OF OWOSSO CODE OF ORDINANCES:**

ARTICLE XIV. - I-2 GENERAL INDUSTRIAL DISTRICTS

Sec. 38-311. - Intent.

General industrial districts are designed primarily for manufacturing, assembling, and fabrication activities including large scale or specialized industrial operations, whose external physical effects will be felt to some degree by surrounding districts. The I-2 districts are so structured as to permit the manufacturing, processing and composing of semi-finished or finished products from raw materials as well as from previously prepared material.

(Code 1977, § 5.62)

Sec. 38-312. - Principal uses permitted.

In an I-2 district, no building or land shall be used and no building shall be erected except for one (1) or more of the following specified uses unless otherwise provided in this chapter:

- (1) Any principal use first permitted in an I-1 district;
- ~~(2) Grain elevators;~~
- (2) **Onsite** heating and electric power generating plants, ~~and all necessary uses using conventional fuels or renewable resources;~~
- (3) Gasoline or petroleum storage;
- (4) Railroad yards;
- (5) Any of the following production or manufacturing uses (not including storage of finished products) provided that they are located not less than eight hundred (800) feet distant from any residential district and not less than three hundred (300) feet distant from any other district:
  - ~~a. Incineration of garbage or refuse when conducted within an approved and enclosed incinerator plant;~~
  - ~~b. Blast furnace, steel furnace, blooming or rolling mill;~~
  - ~~c. Manufacture of corrosive acid or alkali, cement, lime, gypsum or plaster of Paris;~~
  - ~~d. Petroleum or other inflammable liquids, production or refining;~~
  - ~~e. Smelting of copper, iron or zinc ore;~~
  - f.
  - a. Junkyards, provided such are entirely enclosed within a building or within an eight (8) foot obscuring wall and provided further that one property line abuts a railroad right-of-way.
- (6) Foundry operations within a closed building.**
- (7) Any other use which shall be determined by the council after recommendation from the planning commission, to be of the same general character as the above permitted uses in this section. The council may impose any required setbacks and/or performance standards so as to insure public health, safety and general welfare;

- (8) Accessory buildings and uses customarily incident to any of the above permitted uses.

**Additional uses allowed by special use permit:**

- (1) Grain elevators;
- (2) Any of the following production or manufacturing uses (not including storage of finished products) provided that they are located not less than eight hundred (800) feet distant from any residential district and not less than three hundred (300) feet distant from any other district:
  - a. Incineration of garbage or refuse when conducted within an approved and enclosed incinerator plant;
  - b. Blast furnace, steel furnace, blooming or rolling mill;
  - c. Manufacture of corrosive acid or alkali, cement, lime, gypsum or plaster of Paris;
  - d. Petroleum or other inflammable liquids, production or refining;
  - e. Smelting of copper, iron or zinc ore;

(Code 1977, § 5.63)

Sec. 38-313. - Area and bulk requirements.

See article XVI, schedule of regulations, limiting the height and bulk of buildings, the minimum size of lot by permitted land use, and providing minimum yard setback requirements for I-2 districts.

(Code 1977, § 5.64)

Sec. 38-314. - General provisions.

See article XVII, general provisions, for requirements governing off-street parking, signs, walls and other provisions for I-2 districts.

(Code 1977, § 5.65)

Secs. 38-315—38-330. - Reserved.

**YEAS ALL. MOTION CARRIED.**

**ITEMS OF DISCUSSION:**

1. Election of new board secretary-  
Commissioner Kurtz has resigned and was the commission secretary. Commissioner Weaver graciously agreed to fill the vacant position until July of this year.

**COMMISSIONER/PUBLIC COMMENTS:**

No public comments were made at this time. Commissioner Taylor stated plans for the existing dollar general store building are unknown. Commissioner Livingston is glad that the Dollar General is not a box store. Commissioner Fear wondered about addressing properties to the south of new Dollar General store. Commissioner Weave suggested looking at those properties in the future.

**ADJURNMENT:**

**MOTION BY COMMISSIONER BANDKAU, SUPPORTED BY COMMISSIONER TAYLOR TO  
ADJOURN AT 7:45 P.M. UNTIL THE NEXT MEETING ON JUNE 22, 2015.  
YEAS ALL. MOTION CARRIED.**



May 14, 2015

Ms. Susan Montenegro  
Community Development Director  
City of Owosso  
301 West Main  
Owosso, MI 48867

Re: Dollar General Site  
210 S. Shiawasee

Dear Ms. Monenegro:

Enclosed is the following information for the site plan review and approval of the Dollar General site.

1. Site plan application and addresses.
2. Site and building plans (3 Copies) (1 – 11" x 17" reduced)
3. \$150 Fee
4. Owner authorization letter
5. Stormwater design calculations
6. Geotechnical report

Please process this request for consideration at the June 22<sup>nd</sup> Planning Commission meeting.

If you have any questions, please feel free to contact me.

Sincerely,

Todd R. Stuve, P.E.  
[tstuive@exxelengineering.com](mailto:tstuive@exxelengineering.com)

cc: Pete Oleszczuk, Midwest V, LLC

L151096E (Sec. 24-7-2E)

**CITY OF OWOSSO, MICHIGAN**

**SITE PLAN REVIEW APPLICATION AND CHECKLIST**

Approval of the site plan is hereby requested for the following parcel(s) of land in the City of Owosso. This application is submitted with three (3) copies of the complete site plan and payment of the appropriate review fees. Applicant shall also submit a digital version of the site plan to the community development director. Application must be filed least 25 days prior to a scheduled planning commission meeting for staff review and proper notices.

Accompanying any site plan required hereunder, the applicant shall provide from a licensed engineer soil borings at the proposed construction site to ascertain bearing capacity of foundations soils at the time of footing excavation to certify such soil conditions meet or exceed design capacity of the foundation to support the proposed structure. These requirements shall comply with policies of the City of Owosso, copies of which can be obtained from the Building Department.

The attached checklist has been completed to certify the data contained on the site plan. If the required data has not been provided, the appropriate box has been checked with a statement of explanation on why the data has not been provided. I understand that if my site plan is deemed to be incomplete, it may be returned by the City for revisions without being forwarded to the Planning Commission for consideration, until such time as the requirements have been adequately met. By signing this application, the applicant hereby grants full authority to the City of Owosso, its agents, employees, representatives and/or appointees to enter upon the undersigned lands/parcel(s) for the purposes of inspection and examination.

**Application Filed On:** 5/14/2015

**Application Transmitted by City On:** 5/14/2015

**Property Details:**

1. Name of Proposed Development: Dollar General Store
2. Property Street Address: 210 S. Shiawassee Street
3. Location of Property: On the (north, south, east, west side) of West side of Shiawassee Street  
Street, between Genesee Street and Clinton Street  
Streets.
4. Legal Description of Property: Lots 1-4, Block 21, Al and Bo Williams Addition
5. Site Area (in acres and square feet): 0.801 acres - 34,891 sq. ft.
6. Zoning Designation of Property: B-1 Local Business

**Ownership:**

1. Name of Title/Deed Holder: Henry Family, LLC
2. Address: 603 Clark Avenue, Owosso, MI 48867
3. Telephone No: \_\_\_\_\_
4. Fax No: \_\_\_\_\_
5. Email address: \_\_\_\_\_

**Applicant:**

1. Applicant (If different from owner above): Midwest V, LLC Attn: Peter Oleszczuk
2. Address: 403 Oak Street, Spring Lake, MI 49456
3. Telephone No: (616) 842-2030
4. Fax No: (616) 842-1950



- 5. Email address: petemidwest@gmail.com
- 6. Interest in Property (potential buyer/lease holder/potential lessee/other): Potential Buyer - Option to purchase  
(See Owner Authorization Letter)

**Architect/Surveyor/Engineer preparing site plan:**

- 1. Name of Individual: Todd R. Stuive, P.E. Exxel Engineering, Inc.
- 2. Address: 5252 Clyde Park Avenue SW, Grand Rapids, MI 49509-9788
- 3. Telephone No: (616) 531-3660
- 4. Fax No: (616) 531-2121
- 5. Email address: tstuive@exxelengineering.com

**PLEASE NOTE:**

LLC establishments must have a current plan of operation.

Review Fees: Paid: Yes/No

\*Site Plan Review Fees: \$150.00 (may be more if it requires review from outside firm)

Total Fees: \$ \$150.00

[Signature] 5-14-15  
Signature of Applicant Date

See Authorization letter  
Signature of Deed/Title Holder Date

**Please provide an overview of the project:**

Site consists of 7 parcels, all existing structures and drives to be removed. Rezoning of the property to B-1 is in process with the City.  
9,300 sq. ft. Dollar General Retail Store is proposed with 30 associated parking spaces and access drives. Variance for reduced  
number of parking spaces will be sought with the ZBA. All necessary public utilities and stormwater management will be provide  
for the site.

## SITE PLAN REVIEW CHECKLIST

Check the appropriate line. If item is marked as 'not provided', attach detailed explanation.

Item	Provided	Not Provided
1. Site location Map.	<u>X</u>	<u>        </u>
2. North arrow, scale (one (1) inch equals fifty (50) feet if the subject property is less than three (3) acres and one (1) inch equals one hundred (100) feet if three (3) acres or more.	<u>X</u>	<u>        </u>
3. Revision dates.	<u>X</u>	<u>        </u>
4. Signature and Seal of Architect/Surveyor/Engineer.	<u>X</u>	<u>        </u>
5. Area of site (in acres and square feet).	<u>X</u>	<u>        </u>
6. Boundary of the property outlined in solid line.	<u>X</u>	<u>        </u>
7. Names, centerline and right-of-way widths of adjacent streets.	<u>X</u>	<u>        </u>
8. Zoning designation of property.	<u>X</u>	<u>        </u>
9. Zoning designation and use of adjacent properties.	<u>X</u>	<u>        </u>
10. Existing and proposed elevations for building(s) parking lot areas and drives.	<u>X</u>	<u>        </u>
11. Direction of surface water drainage and grading plan and any plans for storm water retention/detention on site.	<u>X</u>	<u>        </u>
12. Required setbacks from property lines and adjacent parcels.	<u>X</u>	<u>        </u>
13. Location and height of existing structures on site and within 100 feet of the property.	<u>X</u>	<u>        </u>
14. Location and width of existing easements, alleys and drives.	<u>X</u>	<u>        </u>
15. Location and width of all public sidewalks along the fronting street right-of-way and on the site, with details.	<u>X</u>	<u>        </u>
16. Layout of existing/proposed parking lot, with space and aisle dimensions.	<u>X</u>	<u>        </u>
17. Parking calculations per ordinance.	<u>X</u>	<u>        </u>
18. Location of all utilities, including but not limited to gas, water, sanitary sewer, electricity, telephone.	<u>X</u>	<u>        </u>
19. Soil erosion and sedimentation control measures during construction.	<u>X</u>	<u>        </u>
20. Location and height of all existing/proposed fences, screens, walls or other barriers.	<u>X</u>	<u>        </u>
21. Location and details of dumpster enclosure and trash removal plan.	<u>X</u>	<u>        </u>
22. Landscape plan indicating existing/proposed trees and plantings along frontage and on the site.	<u>X</u>	<u>        </u>
23. Notation of landscape maintenance agreement.	<u>        </u>	<u>X</u>
24. Notation of method of irrigation.	<u>X</u>	<u>        </u>
25. Lighting plan indicating existing/proposed light poles on site, along site's frontage and any wall mounted lights.	<u>X</u>	<u>        </u>
a. Cut-sheet detail of all proposed light fixtures.	<u>X</u>	<u>        </u>
26. Architectural elevations of building (all facades). Identifying height, Materials used and colors.	<u>X</u>	<u>        </u>
27. Existing/proposed floor plans.	<u>X</u>	<u>        </u>
28. Roof mounted equipment and screening.	<u>X</u>	<u>        </u>
29. Location and type of existing/proposed on-site signage.	<u>X</u>	<u>        </u>
30. Notation of prior variances, if any.	<u>X</u>	<u>        </u>
31. Notation of required local, state and federal permits, if any.	<u>X</u>	<u>        </u>

- |                                                                                                                                                                                               |            |       |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|-------|
| 32. Additional information or special data (for some sites only)                                                                                                                              |            |       |
| a. Environmental Assessment Study.                                                                                                                                                            | _____      | N/A   |
| b. Traffic Study. Trip Generation.                                                                                                                                                            | _____      | N/A   |
| c. Hazardous Waste Management Plan.                                                                                                                                                           | _____      | N/A   |
| 33. For residential development: a schedule indicating number of dwelling units, number of bedrooms, gross and usable floor area, parking provided, total area of paved and unpaved surfaces. | _____      | N/A   |
| 34. LLC establishments must have a current Plan of Operation.                                                                                                                                 | X<br>_____ | _____ |
| 35. Is property in the floodplain?                                                                                                                                                            | _____      | N/A   |
| 36. Will this require MDEQ permitting?                                                                                                                                                        | _____      | N/A   |
| 37. Performance Bond – when required.                                                                                                                                                         | _____      | N/A   |

\*Additional data deemed necessary to enable to completion of an adequate review may be required by the Planning Commission, City and/or its consultants.

**Exhibit "A"**

202 S. Shiawassee St	Tax Id# -	050-660-021-001-00
206 S. Shiawassee St	Tax Id# -	050-660-021-003-00
210 S. Shiawassee St	Tax Id# -	050-660-021-004-00
214 S. Shiawassee St	Tax Id# -	050-660-021-005-00
511 Clinton St	Tax Id# -	050-660-021-002-00
502 S. Genessee St	Tax Id# -	050-660-021-006-00
508 S. Genessee St	Tax Id# -	050-660-021-007-00

AUTHORIZATION LETTER

Owner: Rosalyn Henry  
508/502 Genesee St.

Property: 511 Clinton St. 202/206/210/214 S. Shiawassee St.

Date: 1/26/15

To Whom It May Concern:

Midwest V, LLC ("Buyer"), 403 Oak Street, Spring Lake, MI 49456, is hereby authorized to act on our behalf in connection with the items listed below as it pertains to the development of our above-referenced Property pursuant to a Purchase and Sale Agreement.

Due diligence – soil testing, geo-technical drilling, surveying, engineering and environmental studies (phase I, phase II and/or BEA).

Permitting – Applications and filings with applicable municipalities for all entitlements, including, but not limited to, site plan approval, rezoning, variances, building permits, and any required construction permits.

Unless otherwise agreed in the Purchase and Sale Agreement, any and all of the foregoing work shall be completed by Buyer at its sole cost and expense. Buyer will return the property to substantially the same condition prior to their work.

Sincerely,

Rosalyn Henry Owner

Buyer Contact Information:

Attn: Peter Oleszczuk

403 Oak Street

Spring Lake, MI 49456

Phone: 616-842-2030 ext. 106

Fax: 616-842-1950

PTO

# City of Owosso Planning Commission Staff Report

**MEETING DATE:** June 22, 2015  
**TO:** Planning commission  
**FROM:** Susan Montenegro, Asst. City Manager/Director of Community Development  
**SUBJECT:** Site plan approval request for new Dollar General building

**PETITIONER’S REQUEST AND BACKGROUND MATERIALS**

**Location** 210 S. Shiawassee

**Surrounding land uses and zoning**

	LAND USE	ZONING
North	Car wash	B-4
East	Rental housing	RM-2
South	Rental Housing	I-1
West	Commercial	I-1

**Comparison chart**

	EXISTING	PROPOSED
Zoning	B-1	Same
Gross lot area	287’ X 132’	Same
Setbacks- Front	15’	Same
Side	10’	Same
Rear	10’	Same
Parking	Would need a minimum of 36	30 spaces – will seek a variance

**Planning background**

Midwest V, LLC, acting on behalf of Dollar General, is in the process of purchasing seven parcels that will be merged into one lot as listed above. Todd Stuve of Exxel Engineering, Incorporated appeared before the planning commission at its regularly scheduled meeting on May 26, 2015 and petitioned for rezoning of the seven parcels from I-1 to B-1. Planning commission voted yes on this request.

1. Required parking: The number of required parking spaces is 36 (calculated by usable sq. footage of 7195 sq. ft. divided by 200=36.) Plan shows 30 parking spaces. Applicant will petition ZBA for a parking variance at its July meeting.



## Utilities

### 1. Re: Sheet 3 of 7 Demolition Plant (Note # 2)

Existing water service lines not being re-used are to be abandoned at the water stop box even if inside the street right of way.

Existing sanitary building sewer laterals not being re-used are to be capped and plugged if located in the same excavation as the water stop. If not located in that excavation, they may be abandoned at the street right of way line. Sewer lateral abandonment shall be a watertight seal using a fernco cap with stainless steel band over sound pipe (likely vitrified clay) supported in place by neat cement or concrete.

Abandonments to be inspected by City personnel prior to backfill.

After revision - [The plan seems to meet staff recommendations.](#)

### 2. Re: Sheet 4 of 7 Utility Plan

The proposed re-use of an existing water service under Clinton St to 202 S. Shiawassee will likely not be acceptable. That existing pipe is believed to be ¾ inch lead and if so cannot be re-used. Note that one of the existing water service lines off of S. Shiawassee could be re-used as these were replaced recently with the S M-52 reconstruction and are 1 inch copper from the main to the curb stop.

Re-use of the portion of the building sanitary sewer for 511 Clinton in the street right of way will require a sewer TV inspection to verify pipe integrity prior to authorizing re-use for the new building. Typical building sewer leads in Owosso are 6 inch vitrified clay tile under the street with a transition to 4-inch tile in the tree lawn area. The entire 4-inch pipe will have to be replaced as the plan calls for a 6-inch building sewer

After revision - [There is a change regarding water connection. Revised plan is to bring water off Shiawassee Street watermain. Note is interpreted with understanding that an existing 1" service is available for connection. Developers engineer says there is an existing 1" service at the stop box. City engineer Randy Chesney states he does not like the 'snake like' connection shown on the plan.](#)

## Engineering

1. [All site drainage must be contained on-site. Current plans call for some storm runoff to exit site through driveway openings, especially on Clinton and Shiawassee Streets. This should be modified so that no storm drainage leaves the site except through the storm sewer. Runoff not allowed across public sidewalk.](#)

After revision - [Site drainage is satisfactory](#)

2. Drive approach details call for the Type-M drive opening to run through the public sidewalk. This design is not consistent with the City of Owosso Complete Streets policy. It also does not agree with ADA guidelines. The Type-M openings must terminate at the front edge of the public sidewalk. The public sidewalk must run straight-line grade across the drive opening. Pictures of a correctly constructed Type-M opening are offered to use as a design tool.

After revision - [Drive approach details appear satisfactory. ADA guidelines must be adhered to for cross slopes on sidewalks; Randy Chesney discussed this with the developer's engineer and the developer will add more notes to satisfy this requirement. Otherwise, the revised plans satisfy this note.](#)

3. Sidewalk ramps must be constructed to conform to ADA standards. The ADA detectable warning surface(s) shall be plastic material, 2'-wide by 5'-long sections of sufficient length to cover ramp openings of various sizes, with truncated cones, and red in color. Concrete depth for sidewalk in ramps and across commercial driveways is 7" depth.

After revision - ADA detectable warning strips for sidewalk crossings at driveways is not allowed. City engineer's previous note was misinterpreted by the developer's engineer. They will remove the ADA warning strips at all driveway crossings.

4. All concrete used in the public Right-of-Way shall be MDOT grades P1 or S2 to achieve 3500 PSI.

After revision - Current plans appear to satisfy this note.

5. Note that no curb and gutter is proposed along western border of development. I leave comment with Building Department.

After revision - Current plans appear to satisfy this note.

6. Proposed manhole in Clinton Street to be constructed by Developer under basis of city permit. A copy of the City Sewer Standards is attached.

After revision - Current plans appear to satisfy this note.

7. The proposed catch basin on Genesee Street should be changed to 4-foot diameter.

After revision – City engineer Randy Chesney discussed this matter with the developer's engineer. Due to existing field conditions, the requirement for a 48" diameter catchbasin is waived. The proposed 24" diameter catchbasin is satisfactory.

8. The proposed drive approach onto Shiawassee (M-52) will require a MDOT permit.

After revision - This note stands and left with the developer to gain the MDOT permit.

9. Detention Basin Design appears satisfactory.

After revision - Current plans appear to satisfy this note.

## **Building**

1. Soil erosion and sedimentation control permit to be applied for from the City of Owosso Building Department.

After revision - Plans appear to satisfy this requirement.

2. Maximum total sign area for a B-1 zoning is 100 square feet. Your elevations show two wall signs that are 68 square feet each and also one monument sign that is 32 square feet for a total sign area of 168 square feet. This is over the allowed 100 square feet.

After revision - Discussed this requirement with developer's engineer. They intend to place signs per Site Plan Notes E(1) and E(2) of Sheet 4 of 7. The Plan detail on Architect Sheet A2, showing a sign on the north face of the building, is to be eliminated from the final set of plans. This should put the total area within guidelines of city code.

3. Roof mounted equipment to have screening. Per sec. 38-396 of the Code of Ordinances.

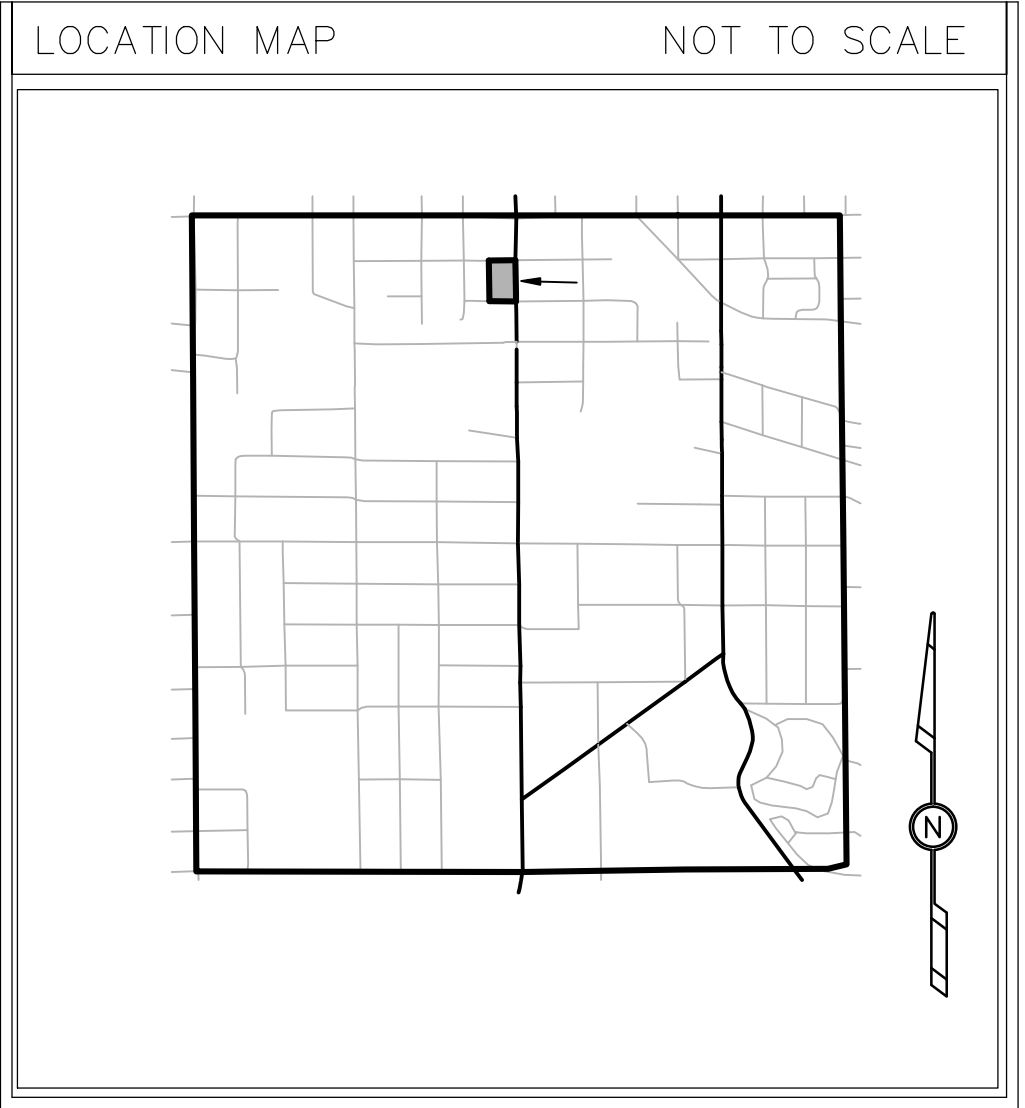
After revision - HVAC plans were not provided for evaluation at this time and will be done at a future date during the building permit process.





# DOLLAR GENERAL®

## Owosso, Michigan Land Development Plans



- SHEET INDEX:**
1. TITLE SHEET
  2. ALTA / ACSM LAND TITLE SURVEY
  3. EXISTING CONDITIONS / DEMOLITION PLAN
  4. SITE DEVELOPMENT & UTILITY PLAN
  5. SITE GRADING AND SOIL EROSION CONTROL PLAN
  6. SITE DETAILS
  7. MDOT DRIVEWAY PLAN

### Contacts

**Owner:** Midwest V, LLC  
*Peter Oleszczuk*  
 403 Oak Street  
 Spring Lake, Michigan 49456  
 ph. 616-842-2030 ext. 106  
 fax 616-842-1950  
 e-mail - [pete@westwindconstruction.net](mailto:pete@westwindconstruction.net)

**General Contractor:** Westwind Construction  
*David Horton*  
 403 Oak Street  
 Spring Lake, Michigan 49456  
 ph. 616-842-2030  
 fax 616-842-1950  
 e-mail [david@westwindconstruction.net](mailto:david@westwindconstruction.net)

**Architect:** Oppenhuizen Architects  
*Mark A. Oppenhuizen AIA*  
 333 Jackson Street  
 Grand Haven, Michigan 49417  
 ph. 616-846-8990  
 fax 616-846-8898  
 e-mail [marka@oppenhuizenarchitects.com](mailto:marka@oppenhuizenarchitects.com)

**Civil Engineer:** Exxel Engineering Inc.  
*Planners . Engineers . Surveyors*  
 ATTN: Todd Stuiive P.E.  
 5252 Clyde Park, S.W.  
 Grand Rapids, Michigan 49509  
 ph. 616-531-3660  
 fax 616-531-2121  
 e-mail [tstuiive@exxelengineering.com](mailto:tstuiive@exxelengineering.com)  
 Web. [www.exxelengineering.com](http://www.exxelengineering.com)



**TITLE SHEET**  
 FOR: MIDWEST V, LLC  
 ATTN: PETER OLESZCZUK  
 403 OAK STREET  
 SPRING LAKE, MI 49456  
 RE: DOLLAR GENERAL, OWOSSO, MI  
 210 S. SHIAWASSEE STREET  
 IN: PART OF THE NE 1/4, SECTION 24, T7N, R2E,  
 CITY OF OWOSSO, SHIAWASSEE COUNTY, MICHIGAN

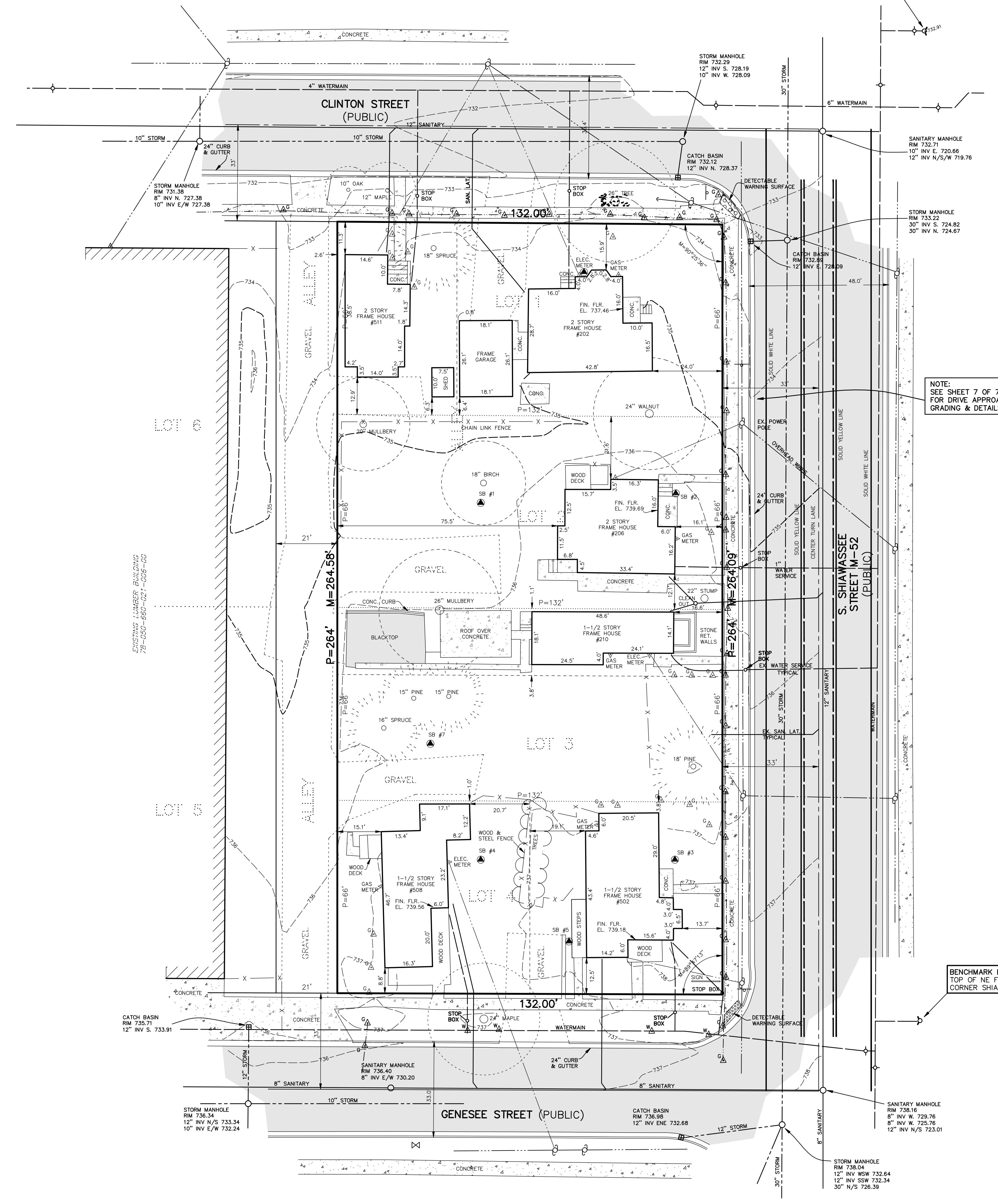
REVISIONS:



P:\Projects\151096\Drawings\dwg\151096-RT.M RT OUT.dwg, COVER-1, 6/15/2015, 3:58:35 PM, abosch



BENCHMARK ELEV. 732.91 (NAVD 88)  
TOP OF NE FLANGE BOLT ON HYDRANT AT NE  
CORNER SHIAWASSEE ST. AND CLINTON ST.



NOTE:  
SEE SHEET 7 OF 7  
FOR DRIVE APPROACH  
GRADING & DETAILS

BENCHMARK ELEV. 738.83 (NAVD 88)  
TOP OF NE FLANGE BOLT ON HYDRANT AT NE  
CORNER SHIAWASSEE ST. AND GENESEE ST.

Legal Description:

Lots 1, 2, 3 and 4, Block 21, AL and BO WILLIAMS ADDITION to the City of Owosso, Shiawassee County, Michigan, as recorded in Liber 29 of Deeds, Page 499.

**SURVEYOR'S CERTIFICATE**

To:  
Midwest V, LLC  
Dollar General Corporation  
Westwind Construction  
Transnation Title Agency of Michigan, Lakeshore Division  
Old Republic National Title Insurance Company

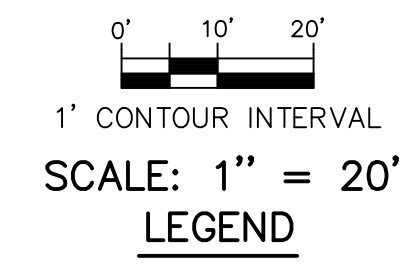
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 8, 9 and 11(a) of Table A thereof. The field work was completed on March 27, 2015.

April 2, 2015

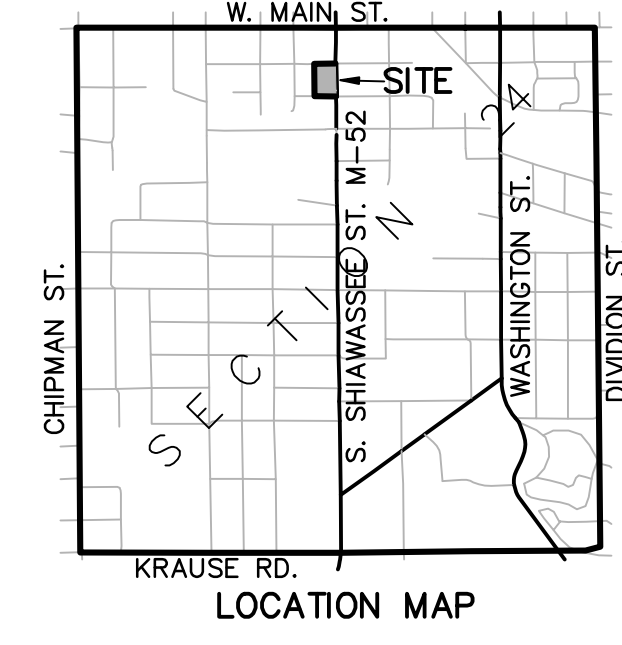
*Brent M. Feyen*  
Brent M. Feyen, PLS 55904

**Notes:**

- Legal Descriptions and recorded easement information is based on Transnation Title Agency of Michigan, Lakeshore Division, Commitment No. 145577WMS, with an effective date of January 23, 2015.
- This parcel contains 34,891 square feet (0.801 acres).
- Utility structures visible on the ground surface have been located and shown per actual measurements. Underground utility lines have been shown per available records and should not be interpreted as the exact location nor the only utilities in this area.
- No portion of this property lies within a Special Flood Hazard Area, as identified by the Federal Emergency Management Agency, Department of Homeland Security. This property lies within Zone X Unshaded (areas determined to be outside the 0.2% annual chance flood plain) as identified on Flood Insurance Rate Map Panel No. 231 of 400, Map Number 26155C0231C, with an effective date of September 29, 2011, published by the Federal Emergency Management Agency.



- o = IRON STAKE FOUND
- = IRON STAKE SET
- ⊙ = MONUMENT
- ⊕ = UTILITY POLE & GUY WIRE
- ⊛ = LIGHT POLE
- ⊙ = SIGN
- ⊕ = HYDRANT
- ⊙ = VALVE
- ⊕ = CATCH BASIN
- ⊙ = MANHOLE
- ⊕ = BURIED GAS LINE MARKER
- ⊕ = BURIED WATER MARKER
- ⊕ = SOIL BORING
- — — = FENCE LINE
- — — = OVERHEAD WIRES



**ALTA/ACSM LAND TITLE SURVEY**

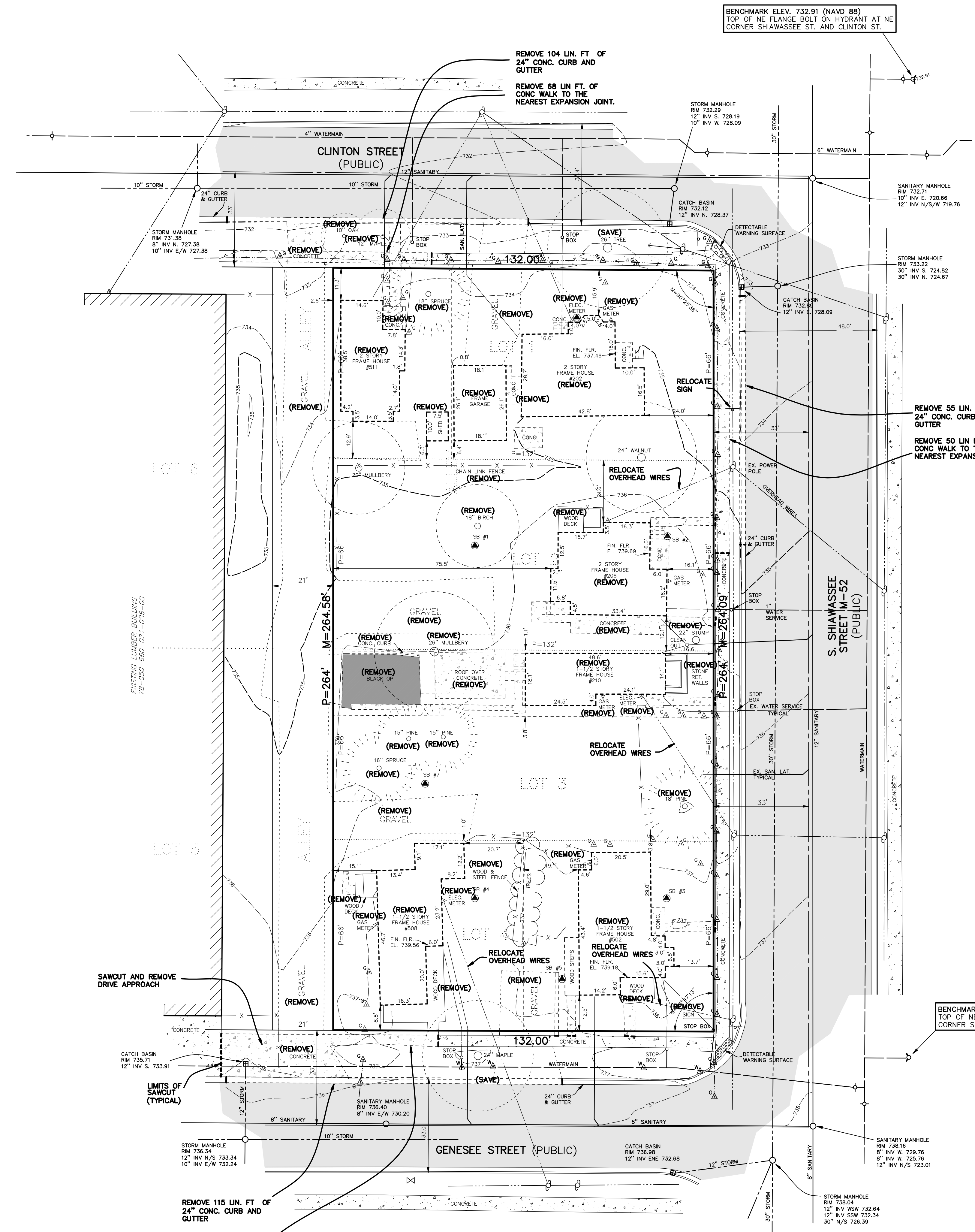
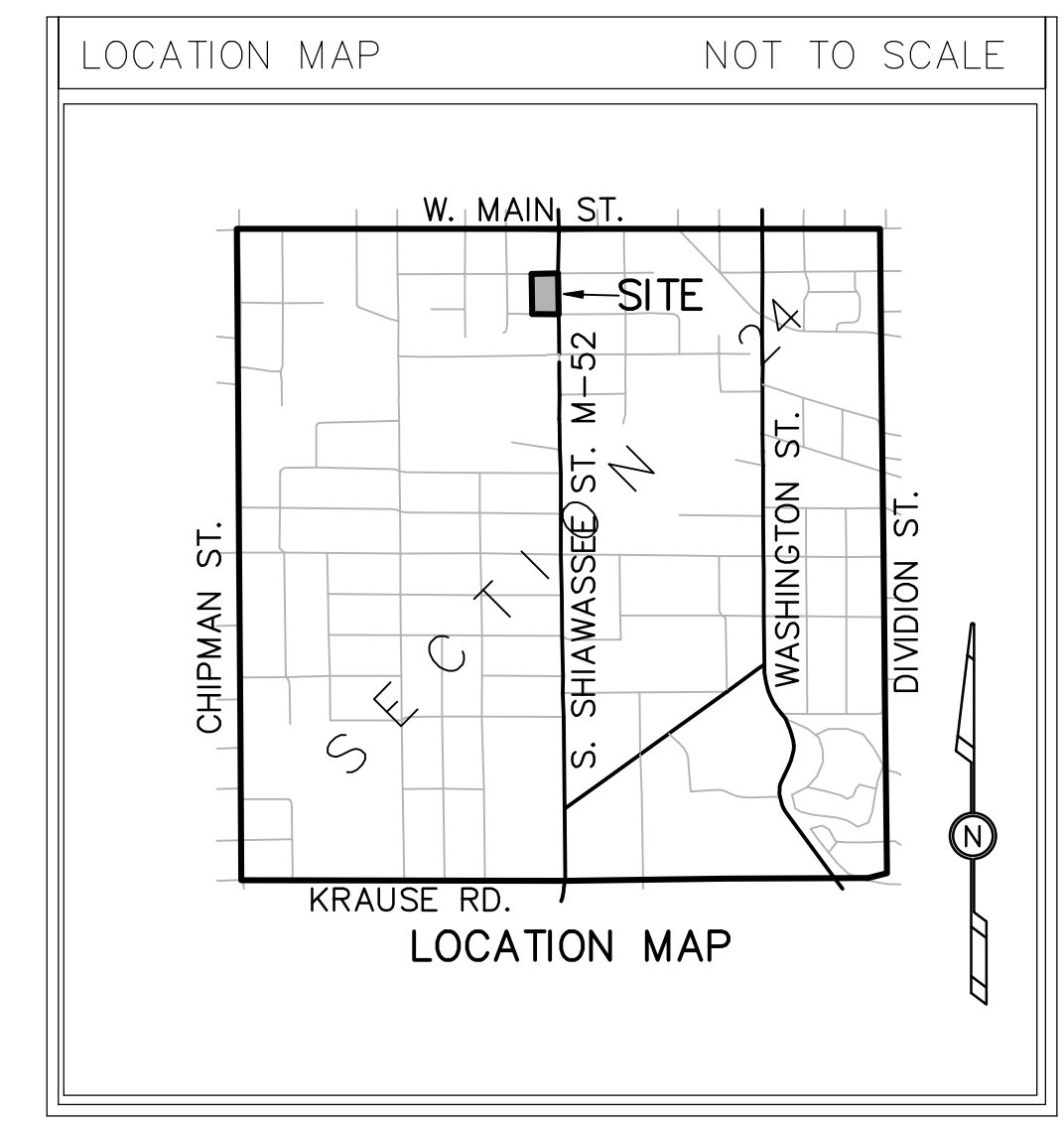
FOR: MIDWEST V, LLC RE: DOLLAR GENERAL, OWOSSO, MI  
ATTN: PETER OLESZCZUK 403 OAK STREET  
SPRING LAKE, MI 49456 210 S. SHIAWASSEE STREET

IN: PART OF THE NE 1/4, SECTION 24, T7N, R2E,  
CITY OF OWOSSO, SHIAWASSEE COUNTY, MICHIGAN

REVISIONS:		

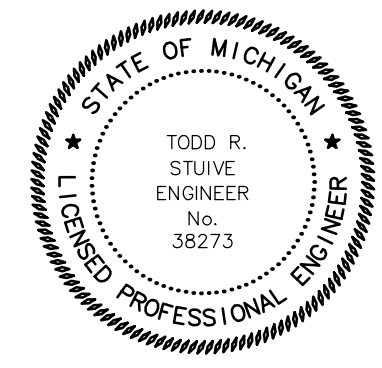






**NOTE:**

1. REMOVE ALL UNDERGROUND SERVICES. UTILITY COMPANIES SHALL SHUT OFF AND CAP AS REQUIRED.
2. REMOVE SANITARY LATERALS PER CITY DPW REQUIREMENTS. CAP AND PLUG ALL UN-USED LATERALS AT THE ROW LINE (OR AT WATER STOP BOX IF IN SAME EXCAVATION). SEWER LATERAL ABANDONMENT TO BE INSPECTED BY CITY PERSONNEL PRIOR TO BACKFILL.
3. REMOVE EXISTING WATER SERVICES PER CITY DPW REQUIREMENTS. ABANDON ALL UN-USED WATER SERVICES AT THE STOP BOX.
4. RESTORE DISTURBED SIDEWALK AS NECESSARY.



- 0' 10' 20'  
1' CONTOUR INTERVAL  
SCALE: 1" = 20'  
**LEGEND**
- = IRON STAKE FOUND
  - = IRON STAKE SET
  - ⊙ = MONUMENT
  - ⊕ = UTILITY POLE & GUY WIRE
  - ⊙ = LIGHT POLE
  - ⊙ = SIGN
  - ⊙ = HYDRANT
  - ⊙ = VALVE
  - ⊙ = CATCH BASIN
  - ⊙ = MANHOLE
  - ⊙ = BURIED GAS LINE MARKER
  - ⊙ = BURIED WATER MARKER
  - ⊙ = SOIL BORING
  - ⊙ = FENCE LINE
  - ⊙ = OVERHEAD WIRES

**EXISTING CONDITIONS AND DEMOLITION PLAN**

FOR: MIDWEST V, LLC  
ATTN: PETER OLESZCZUK  
403 OAK STREET  
SPRING LAKE, MI 49456

RE: DOLLAR GENERAL, OWOSSO, MI  
210 S. SHIAWASSEE STREET

IN: PART OF THE NE 1/4, SECTION 24, T7N, R2E,  
CITY OF OWOSSO, SHIAWASSEE COUNTY, MICHIGAN

REVISIONS:

6-12-2015 REV. PER CITY
-------------------------

**excel engineering, inc.**  
 planners • engineers • surveyors  
 5252 Clyde Park, S.W. • Grand Rapids, MI 49509  
 Phone: (616) 531-3660 Fax: (616) 531-2121  
 www.excelengineering.com

DRAWN BY: CDG  
 APPROVED BY: TRS  
 FILE NO.: 151096E

PROJ. ENG.: TRS  
 PROJ. SURV.: BMF  
 DATE: 5-12-2015

**SHEET 3 of 7**

P:\Projects\151096\Drawings\dwg\151096-RT M RT OUT.dwg, DEMO\_3, 6/15/2015 3:51:21 PM, dhoosh





Know what's below. Call before you dig.

UTILITY INFORMATION

UTILITY LINES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. CRITICAL LOCATIONS SHOULD BE VERIFIED BEFORE FINAL DESIGN PLANS ARE COMPLETED. UTILITY LOCATIONS ARE FROM THE CITY AND VISIBLE SURFACE OBJECTS.

SANITARY LATERAL NOTE: TV INSPECTION OF EXISTING LATERAL IS REQUIRED TO VERIFY PIPE INTEGRITY PRIOR TO AUTHORIZING RE-USE FOR THE NEW BUILDING.

CONCRETE TYPE "M" APPROACH PER MDOT SPECIFICATIONS. TYPE "M" APPROACH MUST TERMINATE AT THE FRONT EDGE OF THE PUBLIC SIDEWALK. (7" THICK CONC.)

PROP. 4" WIDE x 7" THICK SIDEWALK ACROSS COMMERCIAL DRIVEWAY

ZONE B4

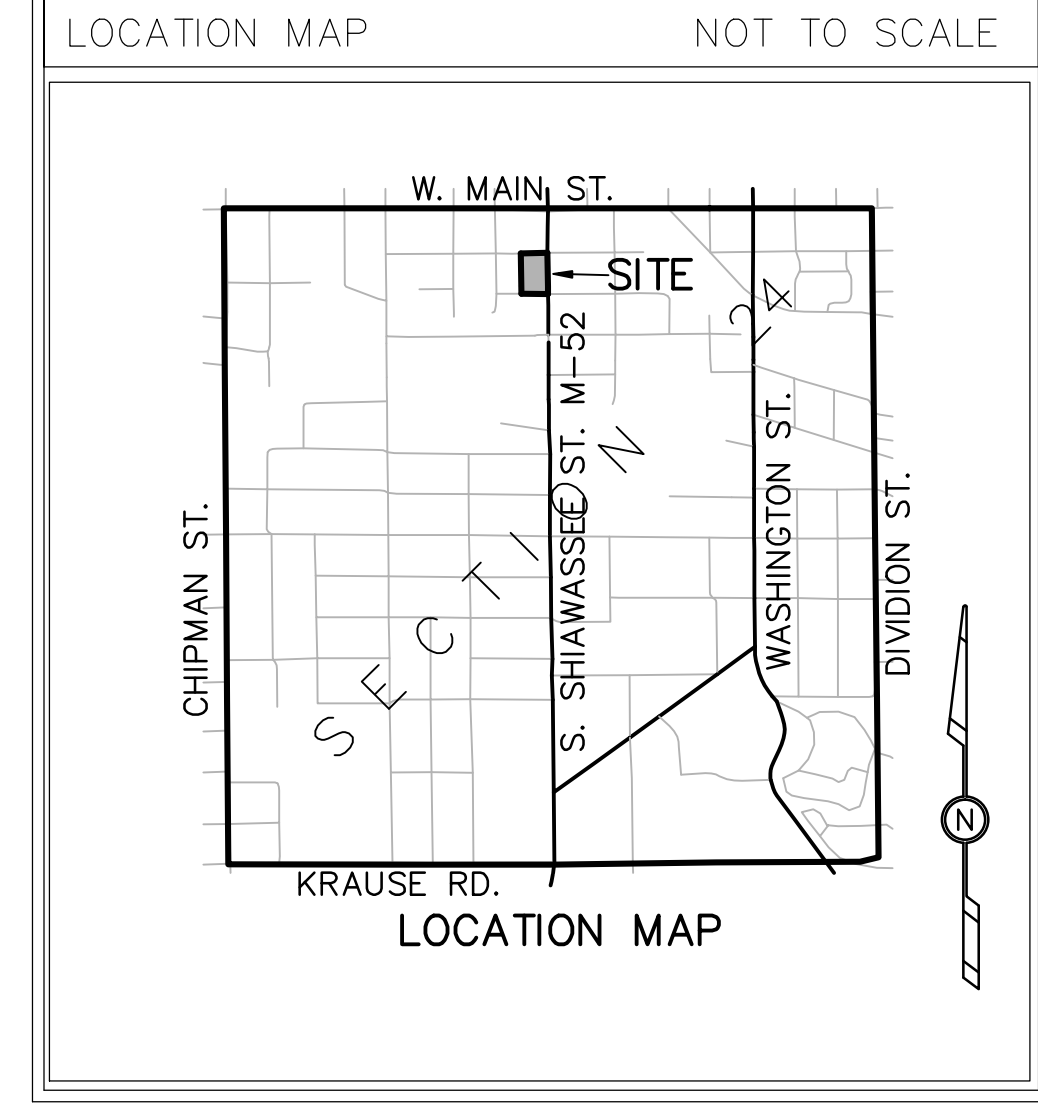
FIELD VERIFY SIZE, LOCATION AND DEPTH OF EXISTING SANITARY LATERAL, PRIOR TO CONSTRUCTION

VERIFY SIZE OF WATER SERVICE PRIOR TO CONSTRUCTION

PROP. ADA DETECTABLE WARNING SURFACES. (24" x 60" LONG SECTIONS OF RED PLASTIC MATERIAL WITH TRUNCATED CONES, TYPICAL)

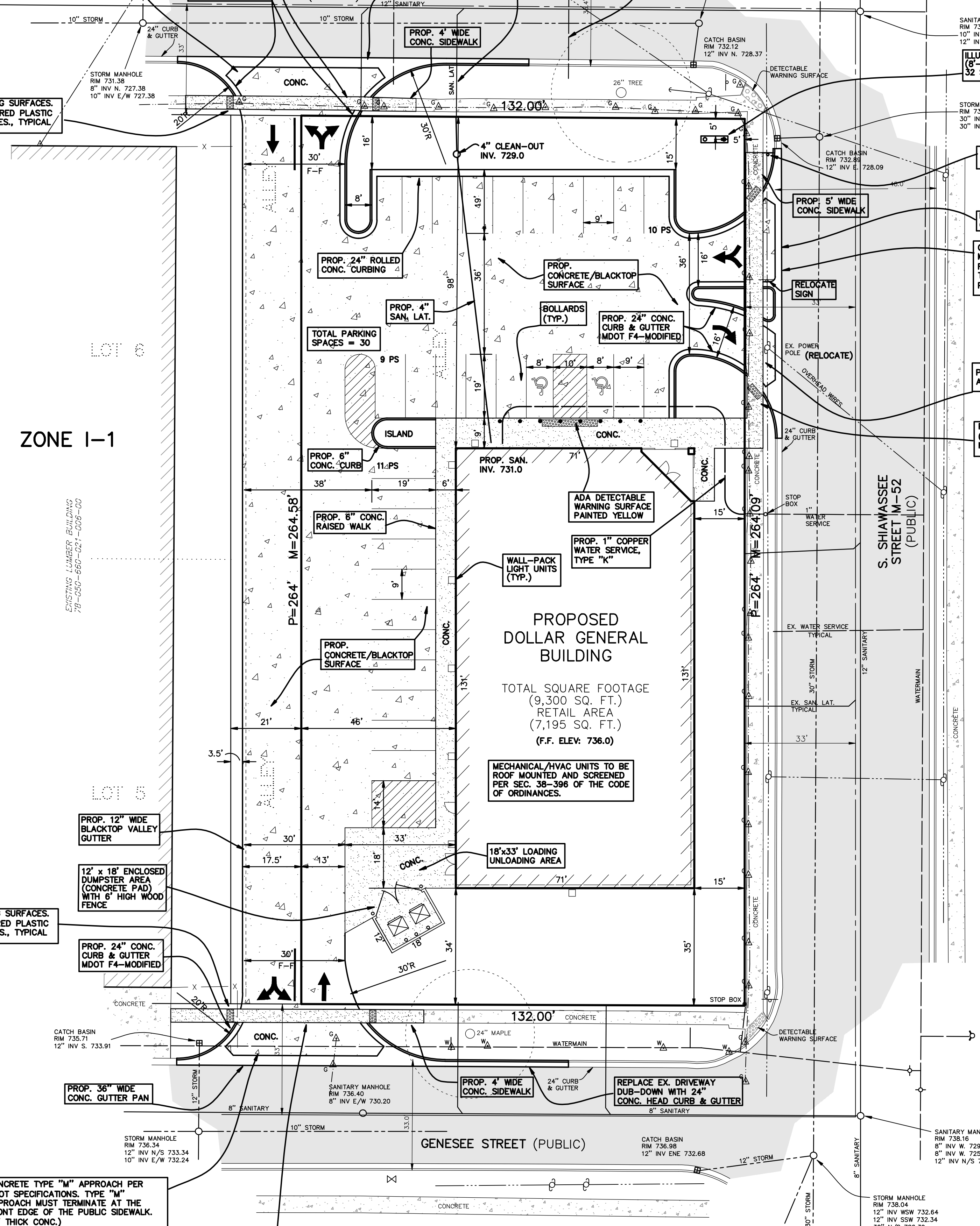
ZONE I-1

ZONE RM2



SITE PLAN NOTES:

- A) PROPERTY ADDRESS: 210 SHAWASSEE STREET (M-52) OWOSSO MI 48867
B) DEVELOPER / OWNER'S AUTHORIZED AGENT: MIDWEST V, LLC
C) EXISTING ZONING: IS I-1 (INDUSTRIAL) REZONE TO B-1 ZONING REGULATIONS WITHIN THE B-1 (NEIGHBORHOOD BUSINESS)
D) REQUIRED PARKING: (7195/200) = 36 SPACES
E) SIGNAGE: 1) AN ILLUMINATED 8'-0"x4'-0" (32 SQ.FT.) PYLON SIGN...
F) SITE LIGHTING: SITE LIGHTING SHALL CONSIST OF 400 WATT SHARP CUT-OFF METAL HALIDE BUILDING MOUNTED WALL-PACK UNITS...
G) SANITARY SEWER: THE PROPOSED BUILDING WILL BE SERVICED BY A PUBLIC SANITARY SEWER SYSTEM IN CLINTON STREET
H) WATER SERVICE: THE PROPOSED BUILDING WILL BE SERVICED BY PUBLIC WATERMAIN IN CLINTON STREET.
I) STORM WATER MANAGEMENT: THE STORM WATER MANAGEMENT SYSTEM WILL CONSIST OF THE SITE FLOWING INTO AN ENCLOSED STORM SEWER SYSTEM WHICH WILL DISCHARGE INTO A DETENTION BASIN...
J) PRIVATE UTILITIES: THE PROPOSED BUILDING WILL BE SERVICED BY EXISTING GAS, ELECTRIC AND TELEPHONE FACILITIES...
K) LANDSCAPING: LANDSCAPING SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN.
L) SOIL EROSION AND SEDIMENTATION CONTROL: PRIOR TO BEGINNING CONSTRUCTION THE PROPERTY OWNER OR HIS AUTHORIZED AGENT SHALL OBTAIN A SOIL EROSION SEDIMENTATION CONTROL PERMIT FROM CITY OF OWOSSO BUILDING DEPARTMENT.



PROPOSED DOLLAR GENERAL BUILDING
TOTAL SQUARE FOOTAGE (9,300 SQ. FT.)
RETAIL AREA (7,195 SQ. FT.)
(F.F. ELEV: 736.0)

MECHANICAL/HVAC UNITS TO BE ROOF MOUNTED AND SCREENED PER SEC. 36-396 OF THE CODE OF ORDINANCES.

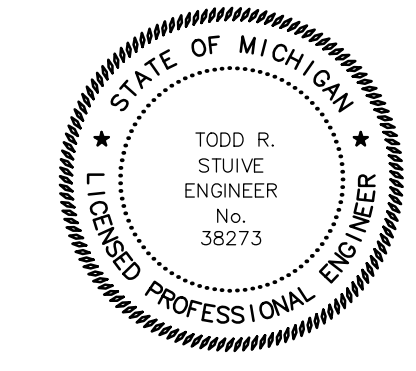
NOTE: ALL CONCRETE USED IN THE PUBLIC RIGHT-OF-WAY SHALL BE "MDOT" GRADES P1 OR S2 TO ACHIEVE 3,500 PSI.



1' CONTOUR INTERVAL

LEGEND

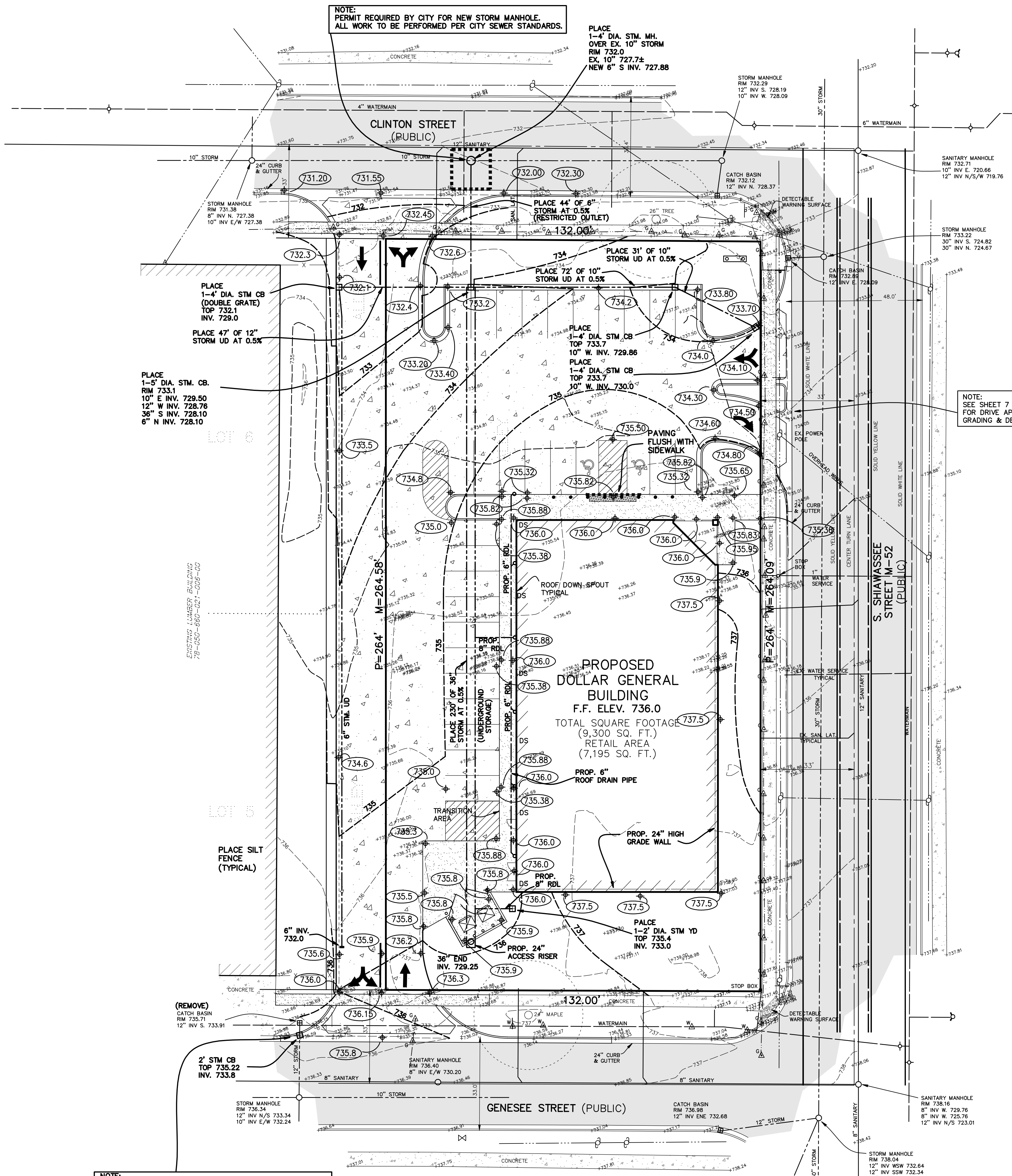
- o = IRON STAKE FOUND
• = IRON STAKE SET
□ = TELEPHONE BOX
⊕ = UTILITY POLE
⊙ = LIGHT POLE
⊕ = WATER METER
⊕ = HYDRANT
⊕ = VALVE
⊕ = CATCH BASIN
○ = MANHOLE
⊕ = BURIED GAS LINE MARKER
⊕ = BURIED ELECTRIC MARKER
⊕ = BURIED TELEPHONE MARKER
⊕ = WATER STOP BOX
--- = FENCE LINE
--- = OVERHEAD WIRES



SITE DEVELOPMENT & UTILITY PLAN
FOR: MIDWEST V, LLC
ATTN: PETER OLESZCZUK
403 OAK STREET
SPRING LAKE, MI 49456
RE: DOLLAR GENERAL, OWOSSO, MI
210 S. SHAWASSEE STREET

exel engineering, inc.
planners • engineers • surveyors
5252 Clyde Park, S.W. • Grand Rapids, MI 49509
Phone: (616) 531-3660 Fax: (616) 531-2121
www.exelengineering.com
DRAWN BY: CDG
APPROVED BY: TRS
FILE NO.: 151096E
PROJ. ENG.: TRS
PROJ. SURV.: BMF
DATE: 6-3-2015
SHEET 4 of 7





**GENERAL STORM SEWER NOTES:**

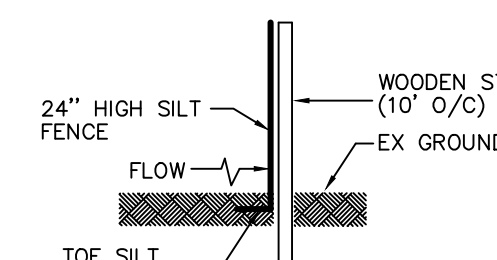
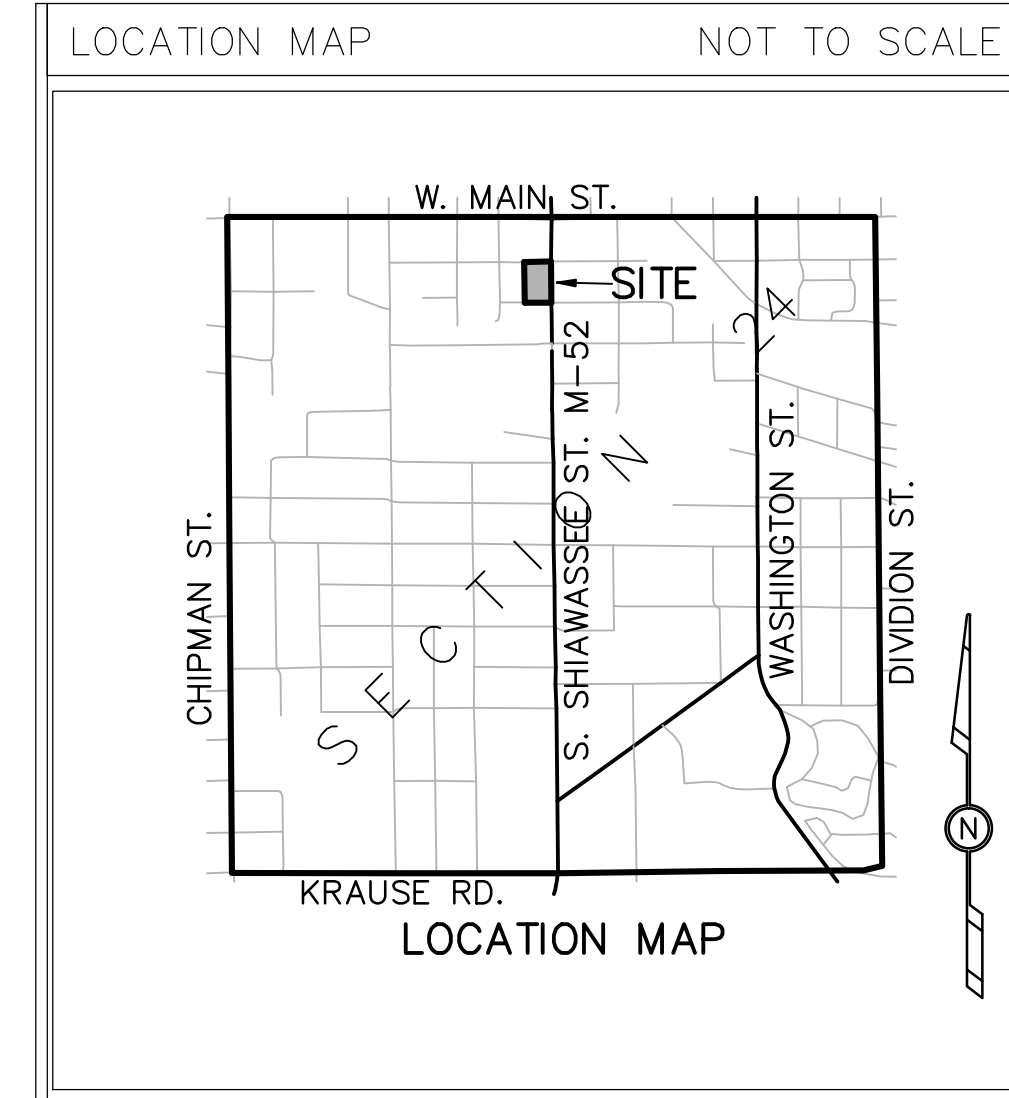
- CATCH BASINS & YARD DRAINS**
1. ALL 4' & 5' DIA. CATCH BASIN (CB) WITHIN 2' CONC. ROLLED CURB AND GUTTER SHALL HAVE 2' SUMPS AND USE E.J. #7065 CASTING WITH TYPE M1 GRATE.
  2. ALL 4' DIA. CATCH BASIN (CB) WITHIN 2' CONC. HEAD CURB SHALL HAVE 2' SUMPS AND USE E.J. #7030 CASTING WITH TYPE M1 GRATE, (DOUBLE GRATE).
  3. ALL 2' DIA. YARD DRAINS (YD) SHALL HAVE 2' SUMPS AND USE E.J. #6121 GRATE ONLY.

**MATERIAL TYPE**

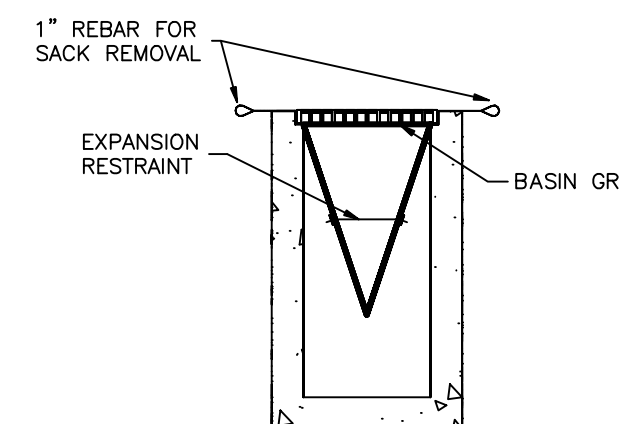
1. ROOF DRAIN LEAD (RDL) SHALL BE PVC SCH. 40
2. ALL STORM LABELED "STORM" SHALL BE SMOOTH-LINED CORRUGATED PLASTIC PIPE (SLCPP), (ADS N-12, HANCOR HI-Q OR APPROVED EQUAL)
3. ALL STORM LABELED "STORM U.D." SHALL BE SMOOTH-LINED CORRUGATED PLASTIC PIPE (SLCPP), PERFORATED W/ SOCK. (ADS N-12, HANCOR HI-Q OR APPROVED EQUAL)

**OTHER**

1. ALL 10" (SLCPP) PIPE SHALL HAVE A SILT TIGHT COUPLER.
2. ALL 12" - 36" (SLCPP) PIPE SHALL HAVE A SILT TIGHT, SURE LOCK TYPE COUPLER



**SILT FENCE DETAIL (Along R/W Lines)**



**SILT SACK DETAIL**

**GENERAL SOIL EROSION CONTROL NOTES:**

1. TOTAL AREA OF DISTURBANCE - ( 0.9 AREAS).
2. ALL SOIL EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO THE START OF ANY GRADING.
3. INSPECT AND MAINTAIN ALL TEMPORARY SOIL EROSION CONTROLS AFTER EACH SIGNIFICANT RAINFALL AND UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED.
4. ALL NON-PAVED SURFACES SHALL BE TOPSOILED WITH MINIMUM OF 4" TOPSOIL AND SEEDED.
5. PROTECT PROPOSED STORM INLETS WITH SILT SACKS
6. PLACE SILT FENCE AS SHOWN ON PLAN AND PER DETAIL.

WORK ITEMS	AUG. 2015 THROUGH DEC. 2015				
SITE DEMOLITION	●				
TEMPORARY EROSION CONTROLS	●	●	●	●	●
TOPSOIL REMOVAL (AS NEEDED)	●				
SITE GRADING	●	●	●	●	●
BUILDING CONSTRUCTION			●	●	●
UTILITY CONSTRUCTION			●	●	●
PAVING AND RESTORATION				●	●

**LEGEND**

- + 755.91 EXISTING SPOT ELEV.
- ± 755.28 PROPOSED SPOT ELEV.
- 758- EXISTING CONTOUR LINE
- 759- PROPOSED CONTOUR LINE



Know what's below.  
Call before you dig.

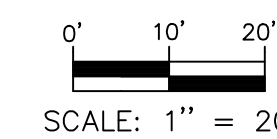
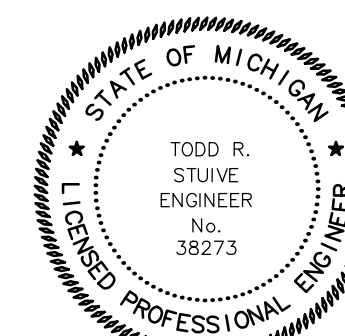
**UTILITY INFORMATION**

UTILITY LINES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. CRITICAL LOCATIONS SHOULD BE VERIFIED BEFORE FINAL DESIGN PLANS ARE COMPLETED. UTILITY LOCATIONS ARE FROM THE CITY AND VISIBLE SURFACE OBJECTS.

**1' CONTOUR INTERVAL**

**LEGEND**

- = IRON STAKE FOUND
- = IRON STAKE SET
- = TELEPHONE BOX
- ⊕ = UTILITY POLE
- ⊙ = LIGHT POLE
- ⊕ = WATER METER
- ⊕ = HYDRANT
- ⊕ = VALVE
- ⊕ = CATCH BASIN
- = MANHOLE
- ⊕ = BURIED GAS LINE MARKER
- ⊕ = BURIED ELECTRIC MARKER
- ⊕ = BURIED TELEPHONE MARKER
- ⊕ = WATER STOP BOX
- ⊕ = FENCE LINE
- ⊕ = OVERHEAD WIRES



**SITE GRADING AND SOIL EROSION CONTROL PLAN**

FOR: MIDWEST V, LLC  
ATTN: PETER OLESZCZUK  
403 OAK STREET  
SPRING LAKE, MI 49456

RE: DOLLAR GENERAL, OWOSSO, MI  
210 S. SHIAWASSEE STREET

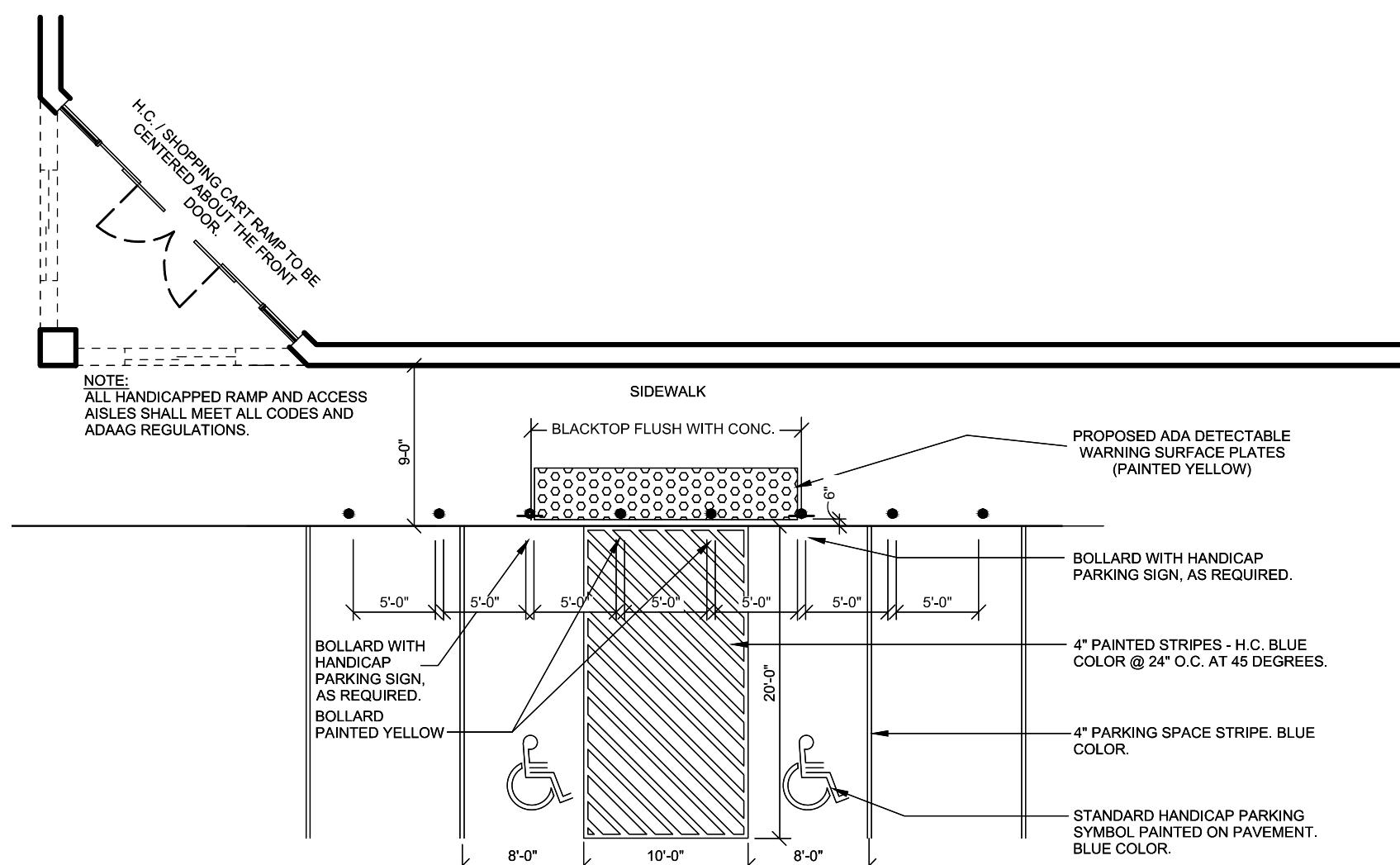
IN: PART OF THE NE 1/4, SECTION 24, T7N, R2E,  
CITY OF OWOSSO, SHIAWASSEE COUNTY, MICHIGAN

**REVISIONS:**

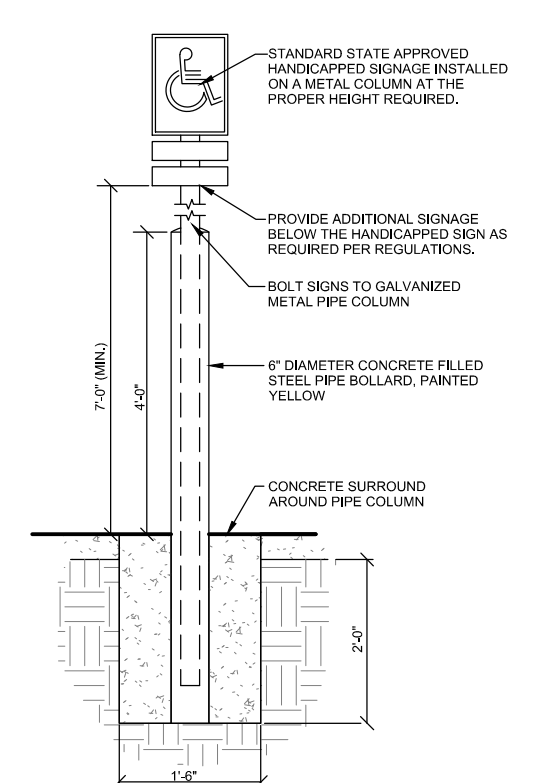
NO.	DATE	DESCRIPTION



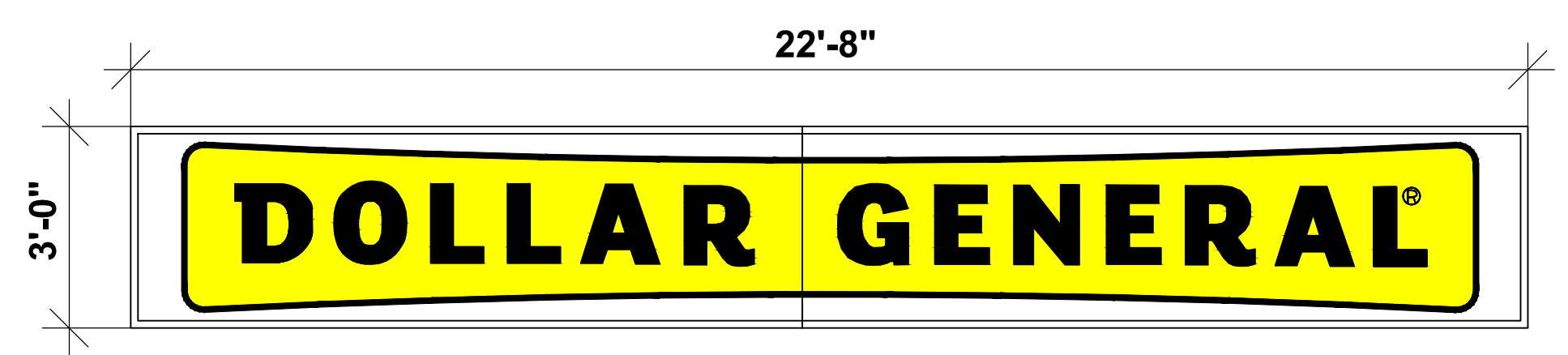




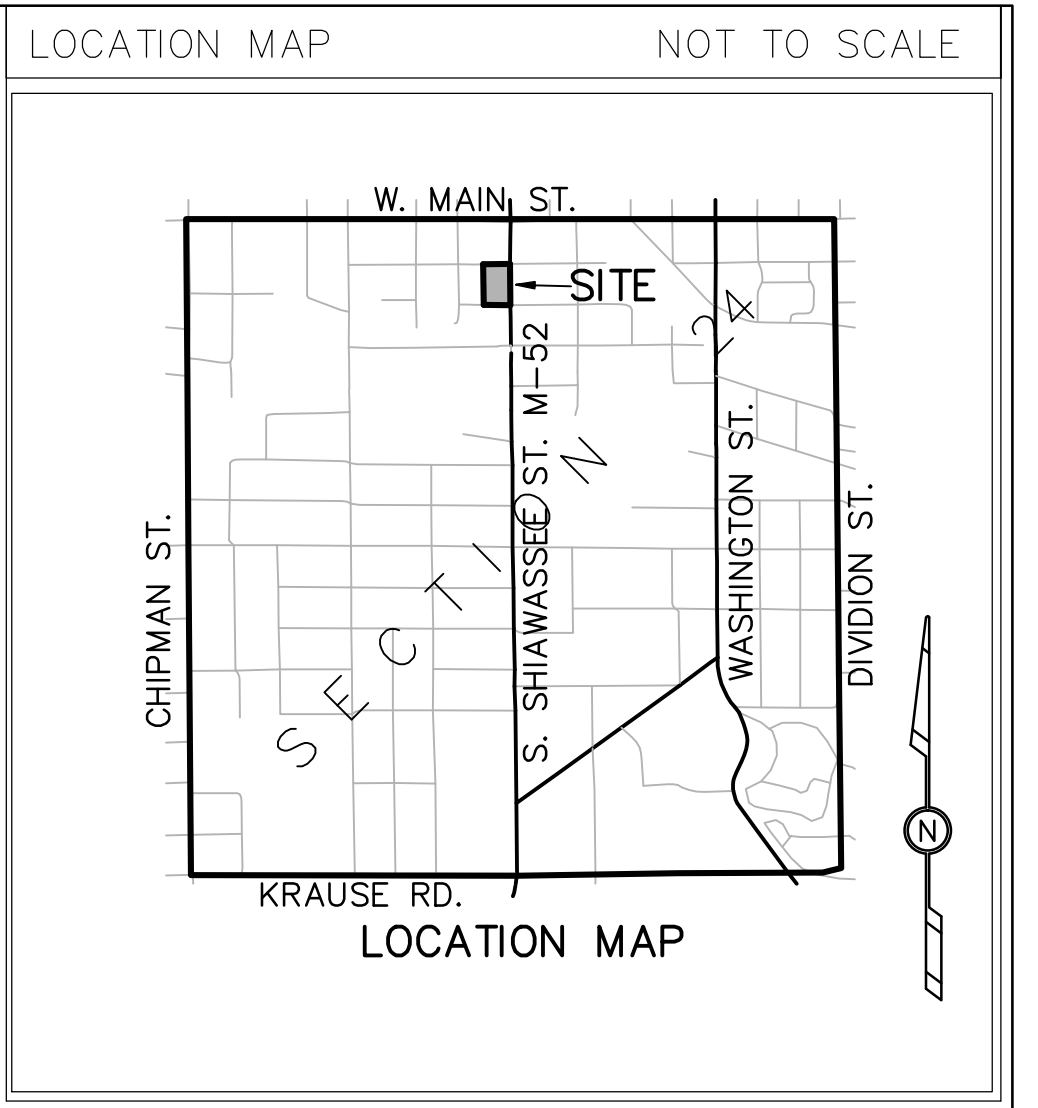
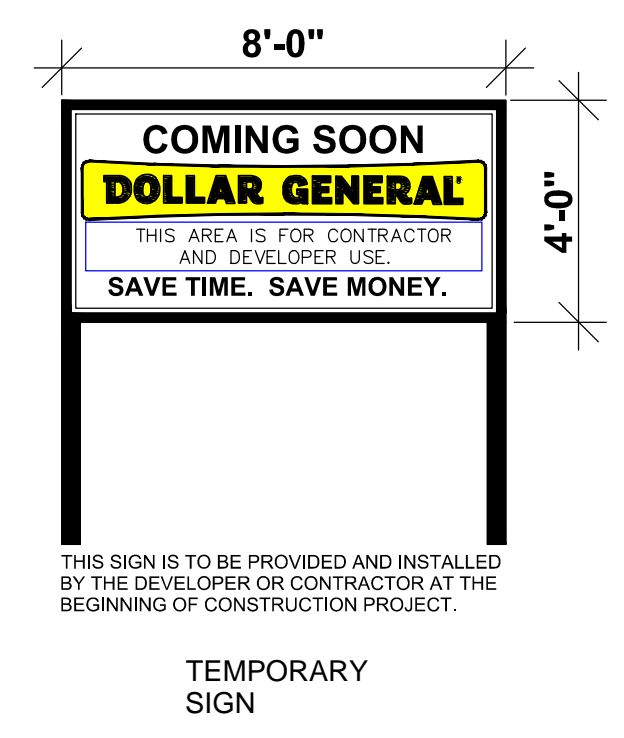
HANDICAP PARKING DETAIL  
N.T.S.



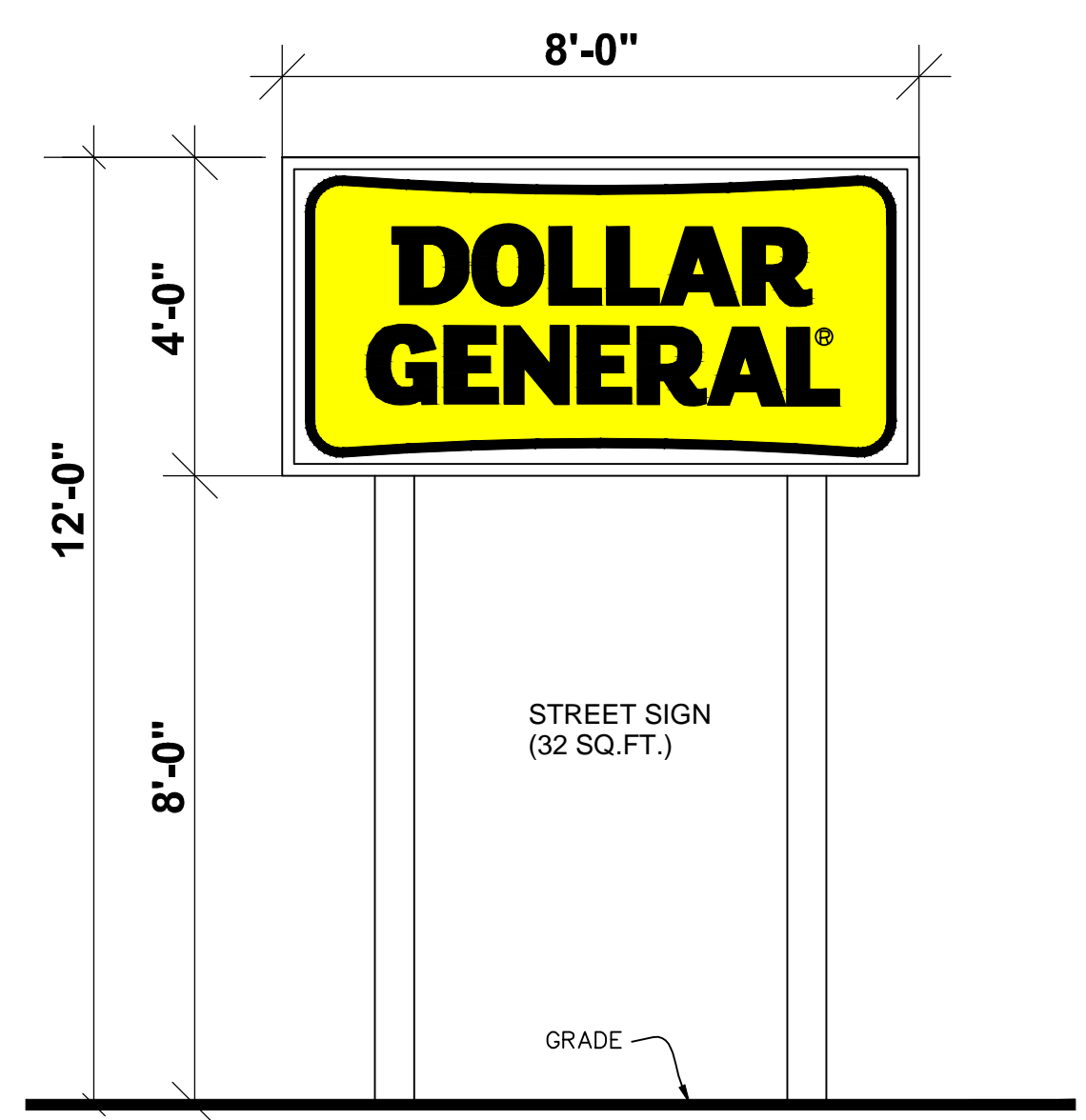
HANDICAP PARKING SIGN DETAIL  
N.T.S.



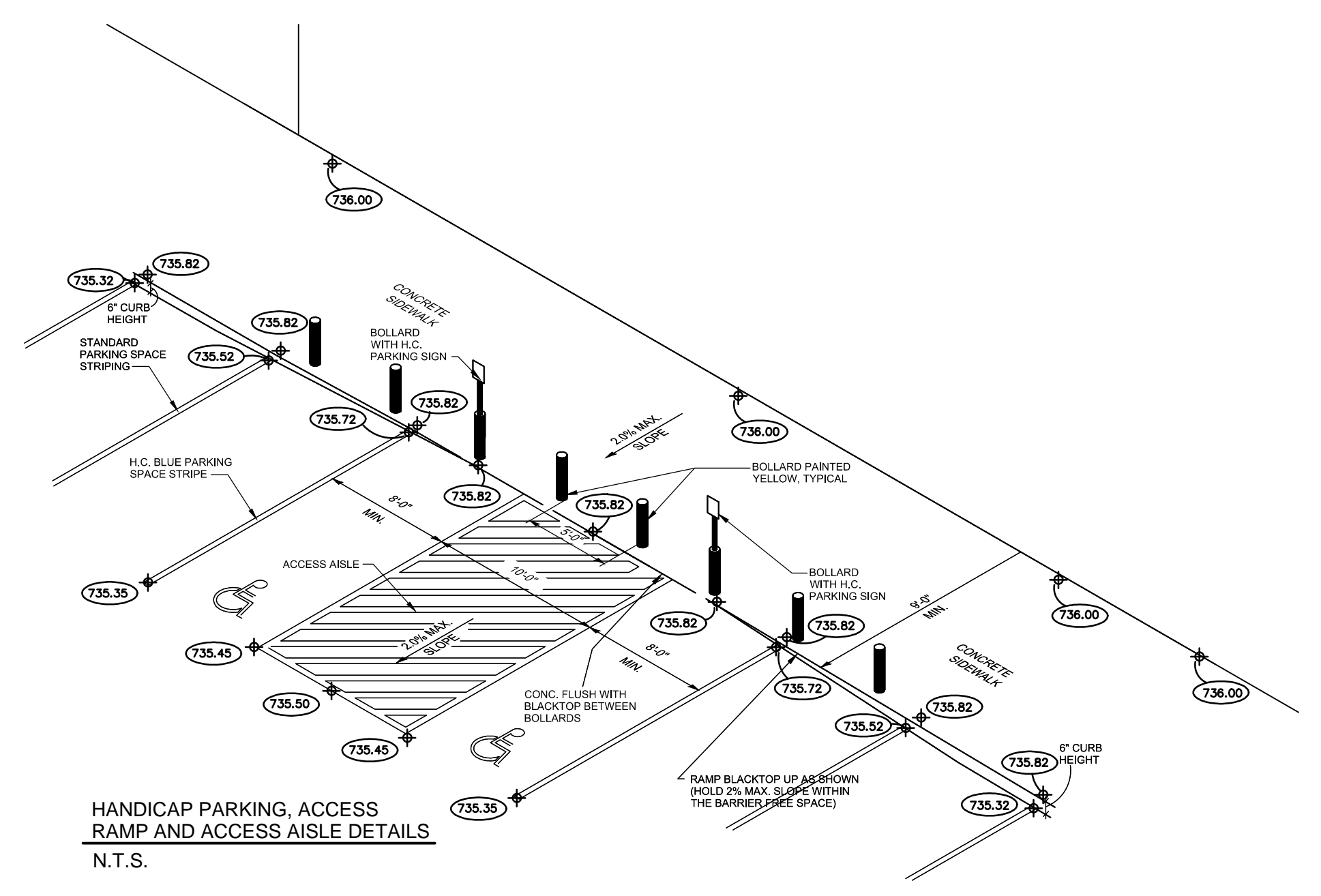
BUILDING SIGN - EAST SIDE OF BUILDING - 68 SQ.FT.



- SIGN SPECIFICATIONS
- BUILDING SIGNS: PROVIDE CONDUIT FROM ELECTRICAL PANEL TO THE CENTER OF THE SIGN CANOPY. THE CONDUIT IS TO BE 1" AND HAVE ONE SET OF 10/2 WIRE WITH GROUND. BUILDING CANOPY MUST BE SUFFICIENTLY BUILT TO SUPPORT THE DOLLAR GENERAL SIGN OF UP TO 1400 LBS. NOTE: IF THE LEASE SPECIFIES A 5'-0" X 4'-0" BUILDING SIGN OR 24" LETTER SET (OR LARGER), 2 #4 - 10/2 WIRE WITH GROUND.
  - GROUND SIGNS: PROVIDE CONDUIT FROM ELECTRICAL PANEL TO LOCATION OF THE Pylon SIGN BASE. BURY CONDUIT UNDER PARKING AREA. THE CONDUIT IS TO BE 1" AND HAVE ONE SET OF 10/2 WIRE WITH GROUND.
  - FINAL ELECTRICAL CONNECTIONS FOR SIGN SHALL BE THE OWNERS RESPONSIBILITY AFTER SIGNS ARE INSTALLED.
  - SEE CHART ABOVE FOR SIGN SPECIFICATIONS.
  - SEE SHEET A8 FOR SIGN BRACING DETAILS.



SIGN DETAILS  
N.T.S.



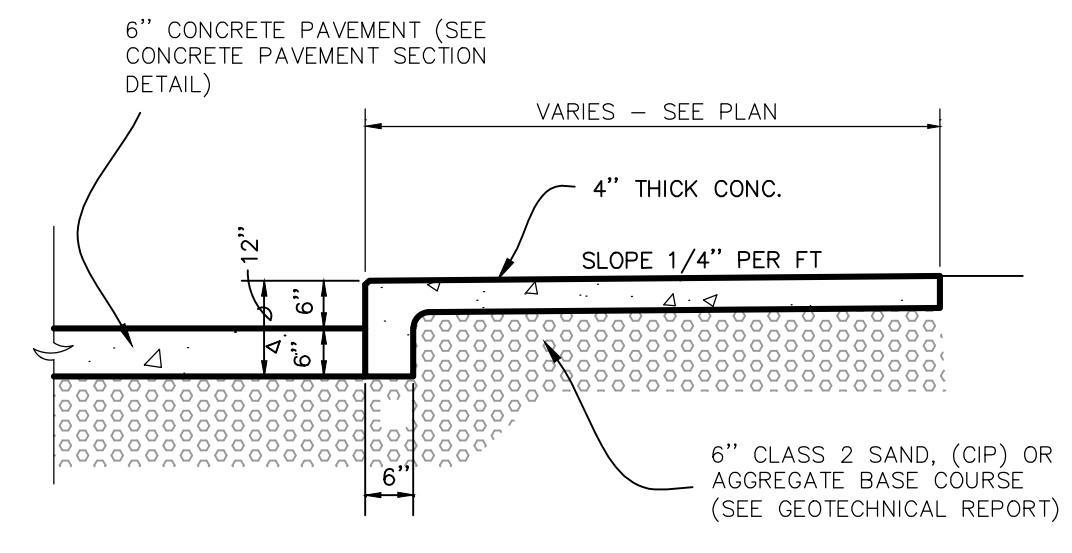
HANDICAP PARKING, ACCESS RAMP AND ACCESS AISLE DETAILS  
N.T.S.

Building Signs

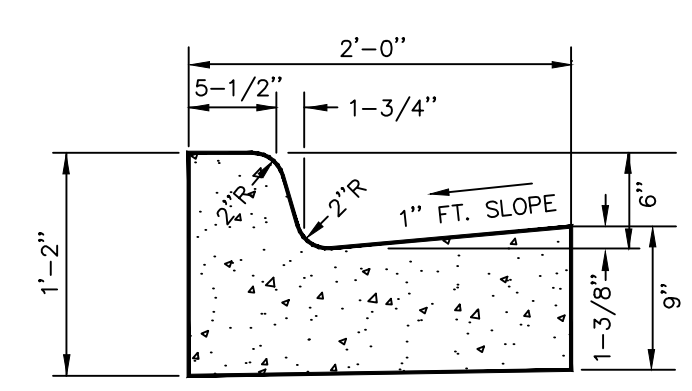
Sign Size	Sign Weight	# Of Circuits	Amps	Voltage
3'-0" X 22'-8" Box	380 lbs.	(1) 15 A	2.5	115

Monument Sign

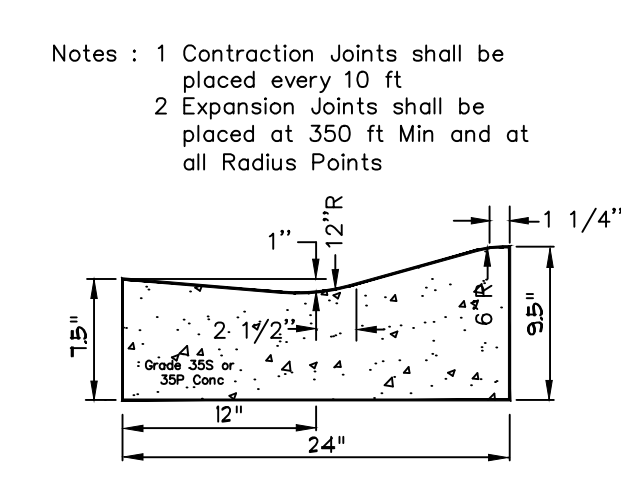
Sign Size	Sign Weight	# Of Circuits	Amps	Voltage
8'-0" X 4'-0"	188 lbs.	(1) 15 A	1.7	115



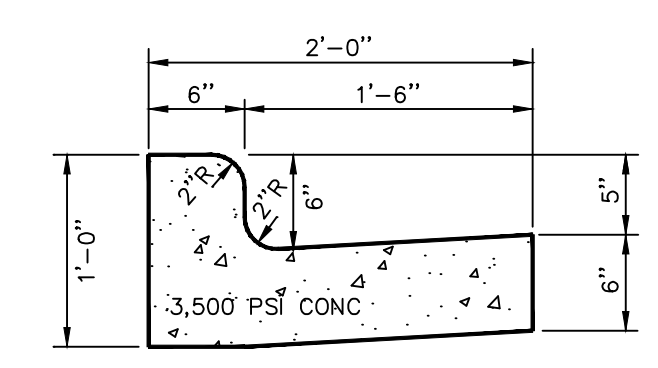
PROPOSED CONCRETE RAISED WALK SECTION  
NO SCALE



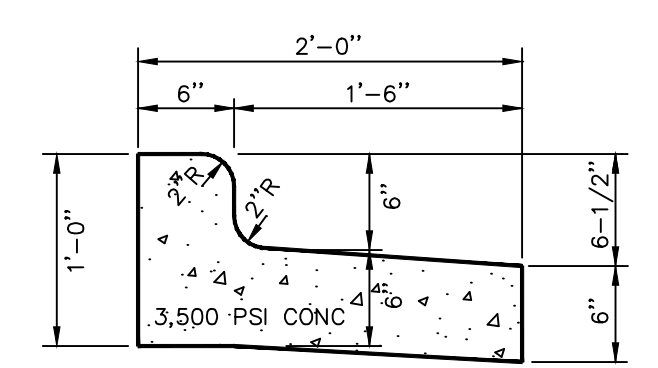
F-4 CONC CURB DETAIL (WITH-IN RIGHT-OF-WAY)



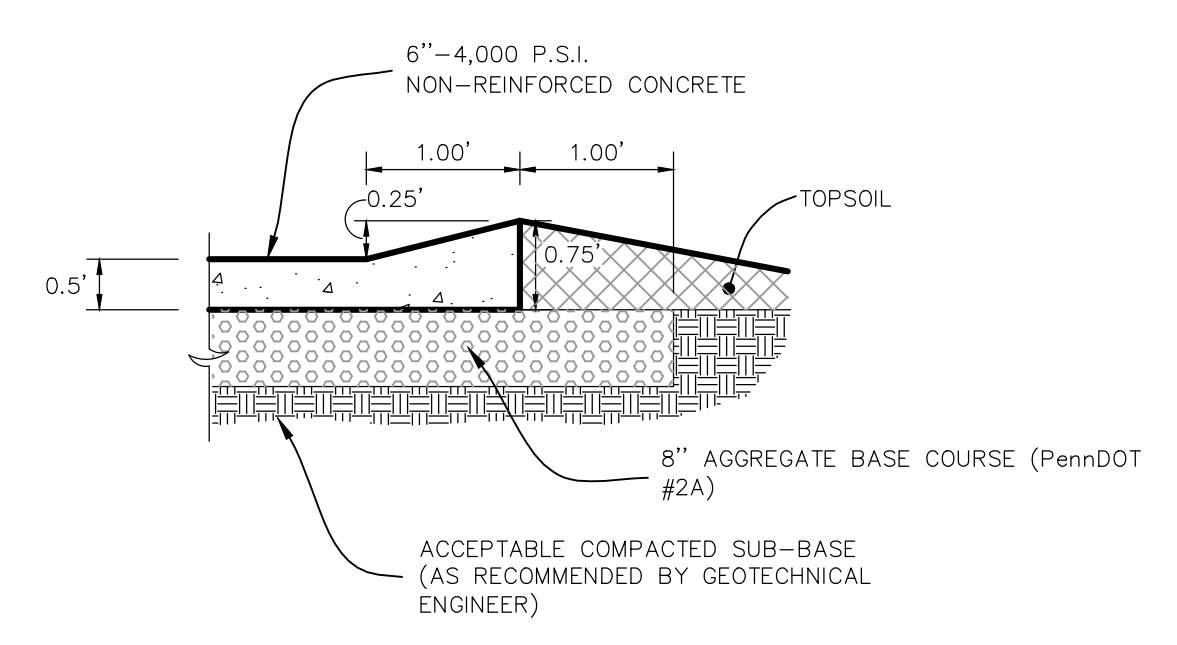
24" CONC ROLLED CURB DETAIL (PITCHED IN)



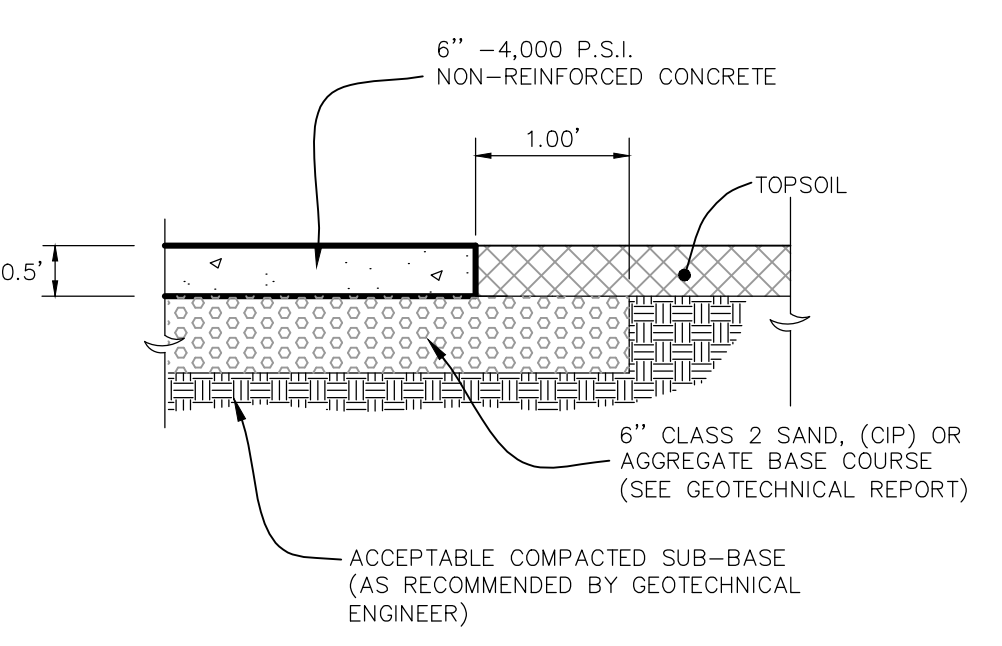
24" HEAD CURB DETAIL (PITCHED IN)



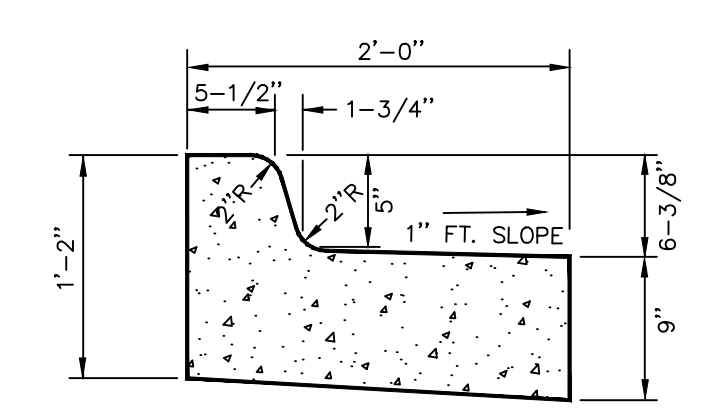
24" HEAD CURB DETAIL (PITCHED OUT)



PROPOSED CONCRETE VALLEY GUTTER-SECTION FOR DOLLAR GENERAL ON-SITE PAVING  
NO SCALE



PROPOSED CONCRETE SECTION FOR DOLLAR GENERAL STORE ON-SITE PARKING AND MANEUVERING LANE AREAS  
NO SCALE



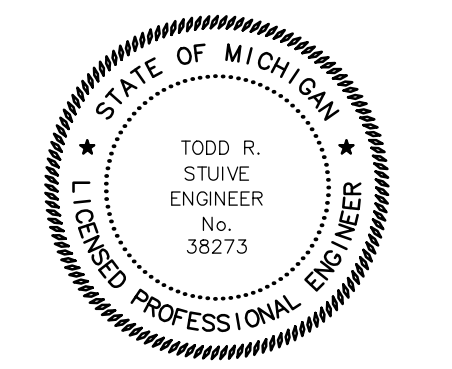
F-4 CONC CURB DETAIL (WITH-IN RIGHT-OF-WAY)



Know what's below.  
Call before you dig.

UTILITY INFORMATION

UTILITY LINES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. CRITICAL LOCATIONS SHOULD BE VERIFIED BEFORE FINAL DESIGN PLANS ARE COMPLETED. UTILITY LOCATIONS ARE FROM THE CITY AND VISIBLE SURFACE OBJECTS.



**SITE DETAILS**

FOR: MIDWEST V, LLC  
ATTN: PETER OLESZCZUK  
403 OAK STREET  
SPRING LAKE, MI 49456

RE: DOLLAR GENERAL, OWOSSO, MI  
210 S. SHIAWASSEE STREET

IN: PART OF THE NE 1/4, SECTION 24, T7N, R2E,  
CITY OF OWOSSO, SHIAWASSEE COUNTY, MICHIGAN

REVISIONS:

drawing number	E F	CDG	TRIS	TRIS	BMF	5-12-2015
DATE:		FILE NO.:	151096E	DATE:		

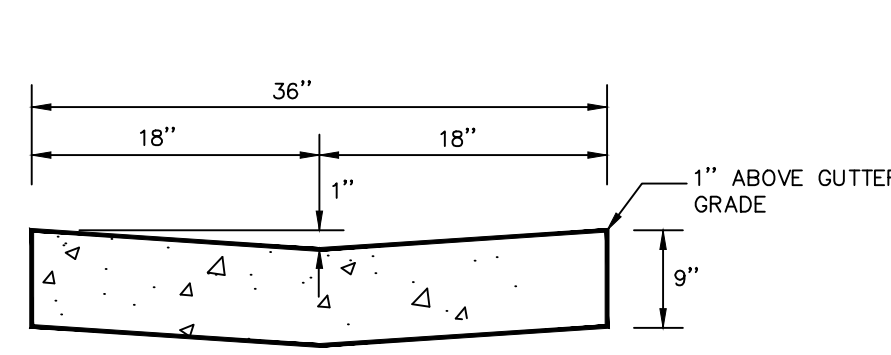
**exxel engineering, inc.**  
planners • engineers • surveyors  
5252 Clyde Park, S.W. • Grand Rapids, MI 49509  
Phone: (616) 531-3660 Fax: (616) 531-2121  
www.exxelengineering.com

**SHEET 6 of 7**

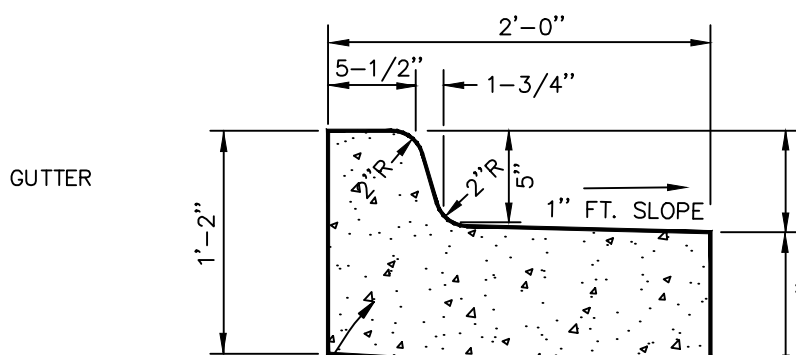




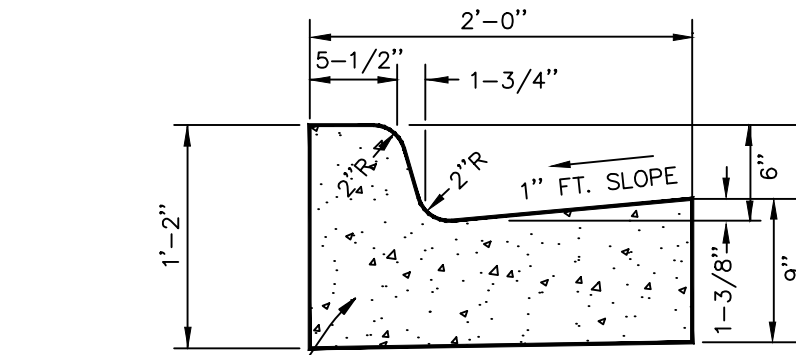
Know what's below.  
Call before you dig.



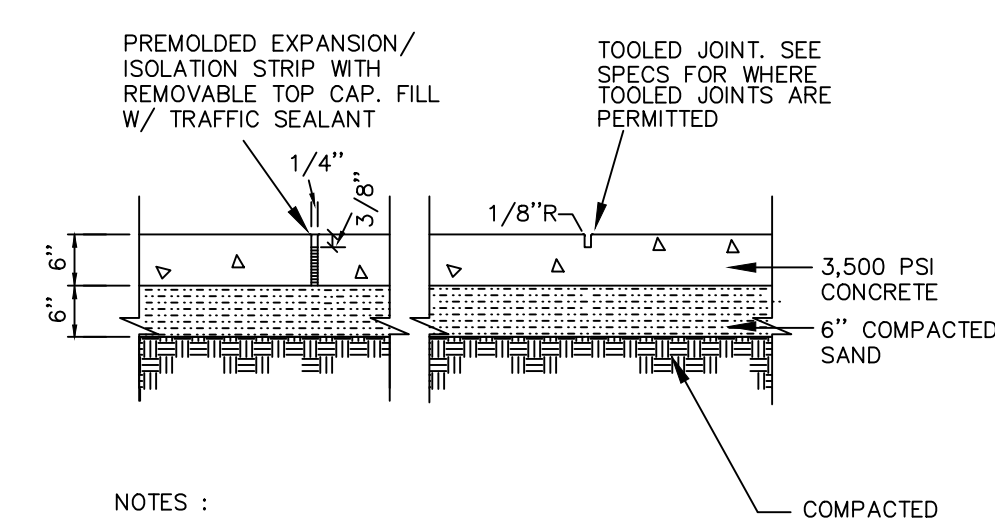
36" CONC GUTTER PAN AT APPROACH



F-4 CONC CURB DETAIL (PITCHED OUT)

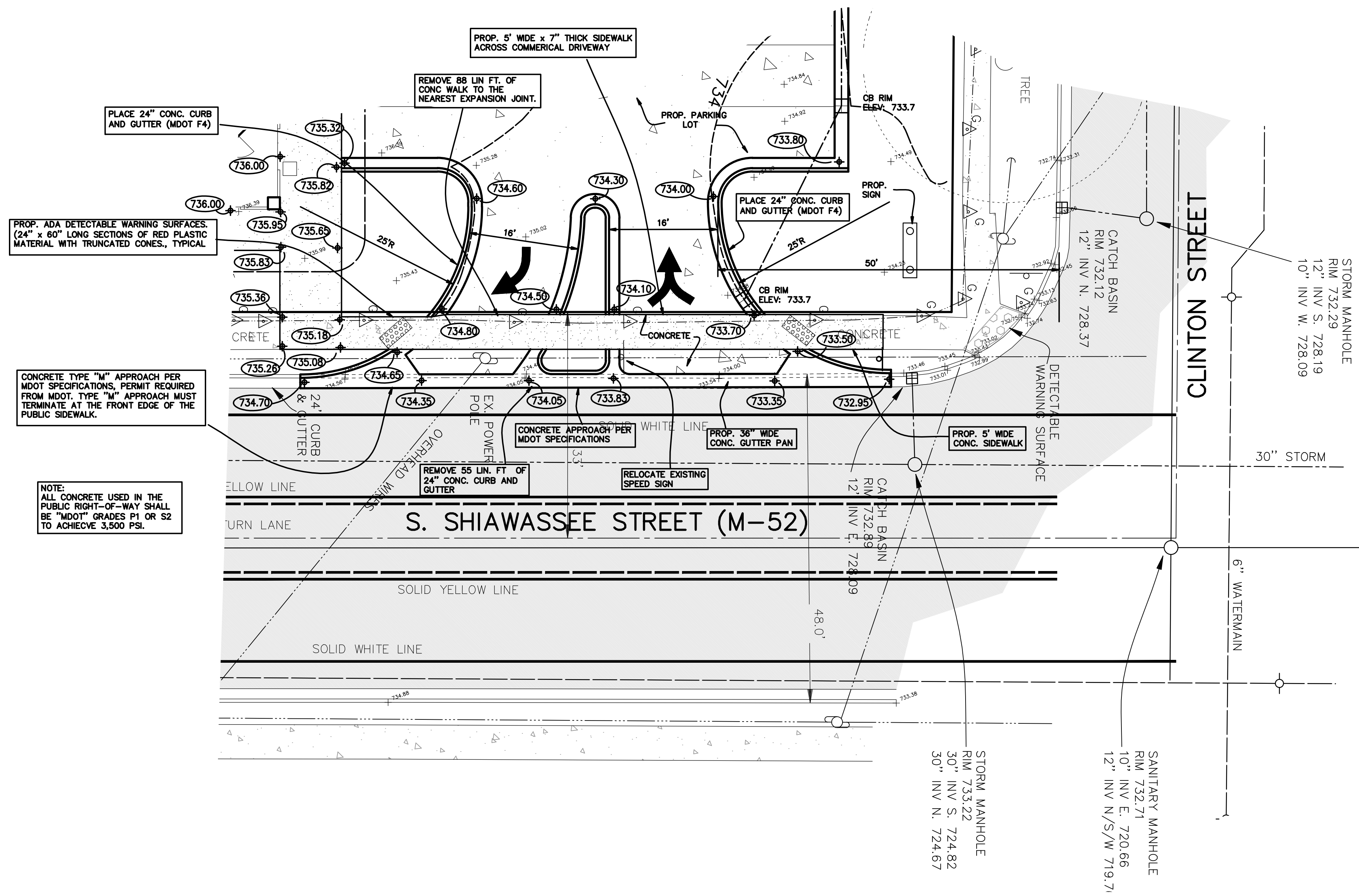
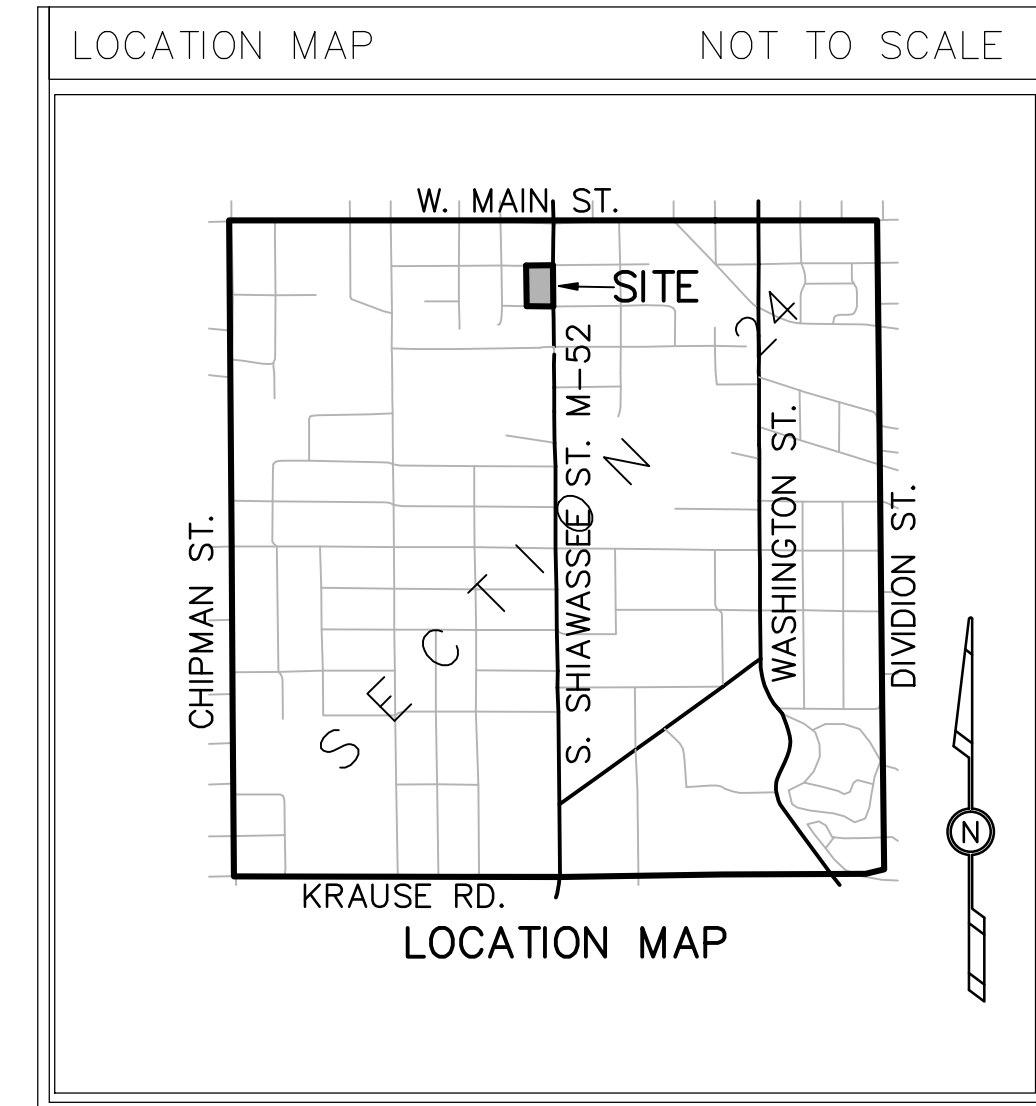


F-4 CONC CURB DETAIL (PITCHED IN)



6" CONCRETE DETAIL (THICKEN TO 6" WITHIN DRIVEWAY)

NOTES:  
LOCATE CONTROL JOINTS AND EXPANSION JOINTS AS PER LAYOUT PLANS

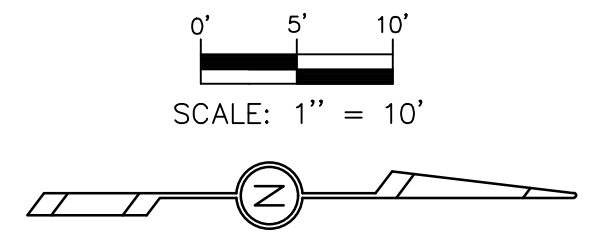
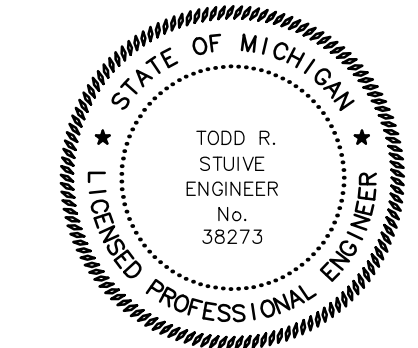


CONCRETE TYPE "M" APPROACH PER MDOT SPECIFICATIONS, PERMIT REQUIRED FROM MDOT. TYPE "M" APPROACH MUST TERMINATE AT THE FRONT EDGE OF THE PUBLIC SIDEWALK.

NOTE:  
ALL CONCRETE USED IN THE PUBLIC RIGHT-OF-WAY SHALL BE "MDOT" GRADES P1 OR S2 TO ACHIEVE 3,500 PSL.

LEGEND

- = IRON STAKE FOUND
- = IRON STAKE SET
- ⊕ = UTILITY POLE & GUY WIRE
- ⊙ = HYDRANT
- ⊞ = CATCH BASIN
- = MANHOLE
- ⊙ = BURIED GAS LINE MARKER
- ⊙ = BURIED TELEPHONE MARKER
- D = DEEDED DIMENSION
- M = MEASURED DIMENSION
- = FENCE LINE
- = OVERHEAD WIRES



**MDOT DRIVEWAY PLAN**

FOR: MIDWEST V, LLC  
ATTN: PETER OLESZCZUK  
403 OAK STREET  
SPRING LAKE, MI 49456

RE: DOLLAR GENERAL, OWOSSO, MI  
210 S. SHIAWASSEE STREET

IN: PART OF THE NE 1/4, SECTION 24, T7N, R2E,  
CITY OF OWOSSO, SHIAWASSEE COUNTY, MICHIGAN

REVISIONS:

6-12-2015 REV. PER CITY
-------------------------

DRAWN BY: CDG  
APPROVED BY: TRS  
FILE NO.: 151096E

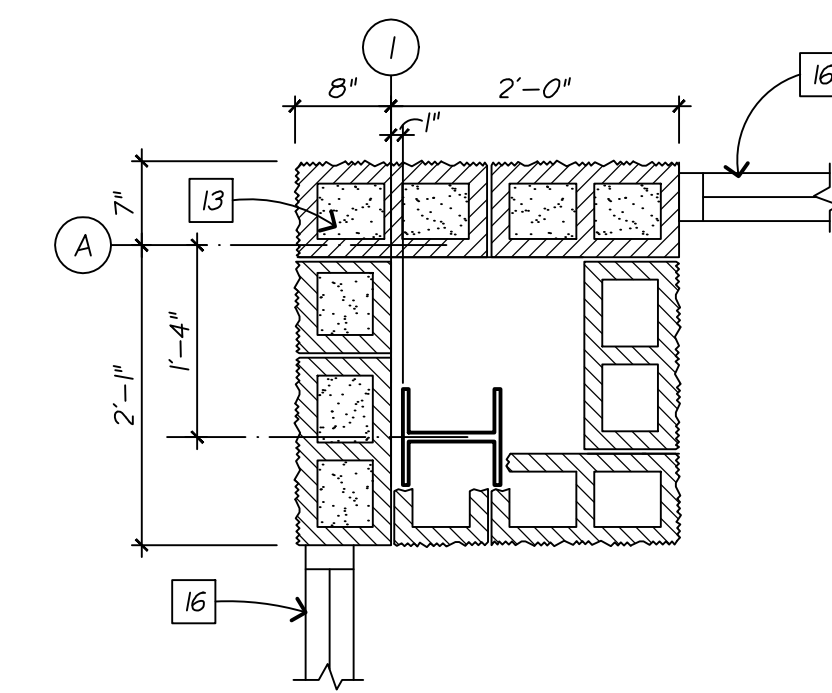
PROJ. ENG.: TRS  
PROJ. SURV.: BMF  
DATE: 5-12-2015

**exel engineering, inc.**  
planners · engineers · surveyors  
5252 Clyde Park, S.W. • Grand Rapids, MI 49509  
Phone: (616) 531-3660 Fax: (616) 531-2121  
www.excelengineering.com

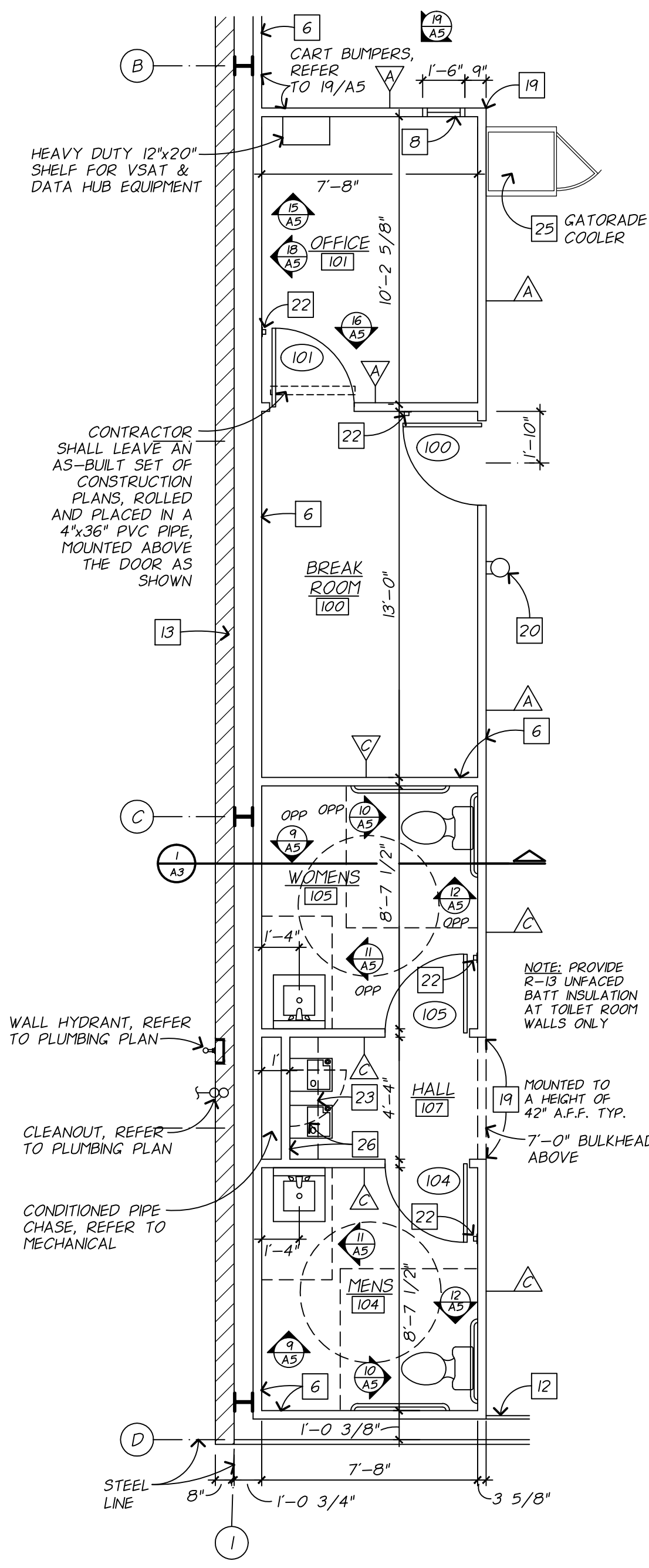
SHEET  
7 of 7

P:\Projects\151096\Drawings\dwg\151096-RT M RT OUT.dwg, MDOT-7, 6/15/2015 4:25:22 PM, dmbsch





**5 COLUMN DETAIL**  
SCALE: 3/4"=1'-0"



**RESTROOM/OFFICE/BREAK ROOM PLAN**  
SCALE: 1/4"=1'-0"

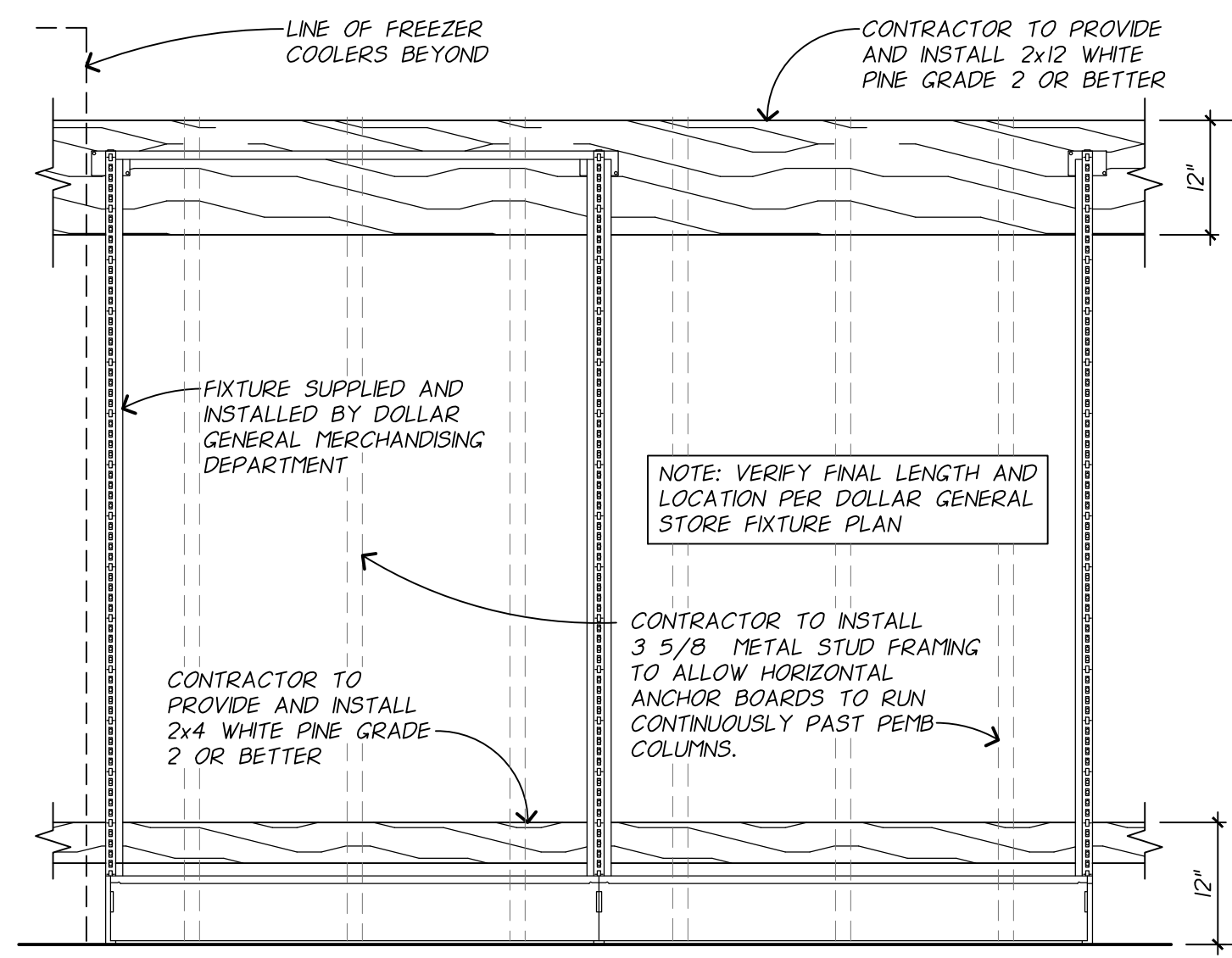
- GENERAL NOTES:**
- 1) DIMENSIONS ARE ROUGH FRAMING, FACE OF STUD TO FACE OF STUD.
  - 2) PROVIDE NON-COMBUSTIBLE WOOD BLOCKING BEHIND ALL IVES WALL MOUNTED DOOR STOPS.
  - 3) ALL BLOCKING IS 2x6 #2 HEM FR.
  - 4) [Symbol] INDICATES 30"x48" LAVATORY OR 60"x56" TOILET CLEAR FLOOR AREAS.

- FLOOR PLAN KEYED NOTES**
- 1 RECEIVING DOOR BUZZER - TORK MDL #TA725 OR EQUAL.
  - 2 2" DOOR SCOPE, BASS SECURITY DS/1000MB.
  - 3 WEATHER STRIP & LOW PROFILE THRESHOLD - BASS SECURITY NGP 425HD.
  - 4 STRIPE FLOOR FOR DESIGNATED EGRESS PATH (PAINT YELLOW).
  - 5 PROVIDE AND INSTALL A TEN GALLON WATER HEATER (OR LARGER IF REQUIRED BY CODE) AND WELL PRESSURE TANK, WHERE APPLICABLE, ABOVE THE MOP SINK. REFER TO PLUMBING PLANS, DETAIL 4/P2.
  - 6 3 5/8" METAL STUDS W/ 1/2" GYPSUM BOARD.
  - 7 METAL LINER PANELS TO 8'-0" A.F.F., BY PRE-ENGINEERED BUILDING MANUFACTURER.
  - 8 18"x18" ONE WAY WINDOW @ 36"A.F.F.
  - 9 METAL WALL PANELS, BY PRE-ENGINEERED BUILDING MANUFACTURER.
  - 10 3,000psi CONCRETE SLAB WITH 6x6xW14 WELDED WIRE MESH OVER COMPACTED SAND BASE, TYP.
  - 11 STEEL COLUMN. PAINT SW7005 PURE WHITE. WRAP COLUMN WITH TIGHT LOOP CARPET (BLACK) 48" HIGH AT BASE.
  - 12 1/2" GYPSUM BOARD OVER METAL LINER PANELS (REFER TO SHEET A4.1 FOR MORE INFORMATION) AND VINYL FACED FIBERGLASS BATT INSULATION.
  - 13 8" SPLIT FACE CMU STAINED, COLOR SELECTION BY OWNER.
  - 14 SLOPE CONCRETE 1/8" PER FOOT AWAY FROM BUILDING.
  - 15 BROOM FINISH CONCRETE SIDEWALK - REFER TO SITE PLAN.
  - 16 BRONZE STOREFRONT SYSTEM. REFER TO DRAWING A4 FOR ADDITIONAL INFORMATION.
  - 17 LINE OF SOFFIT ABOVE.
  - 18 A.D.A. COMPLIANT H.C. RAMP WITH YELLOW PAINTED SIDES TO H.C. PARKING STALLS - REFER TO SITE PLAN.
  - 19 MC CUE CART AND BUMPER GUARDS. TOP INSTALLED @ 3'-5" A.F.F. ORDER TRIM KIT FOR THIS PROTOTYPE.
  - 20 10# ABC FIRE EXTINGUISHER MOUNTED ON WALL HOOK, NOT IN CABINET. TO BE PROVIDED AND INSTALLED BY DOLLAR GENERAL.
  - 21 PROVIDE A TACTILE SIGN STATING 'EXIT' COMPLYING WITH ICC A117.1 AT THE LOCATION INDICATED. MOUNT TOP OF SIGN 48" A.F.F.
  - 22 IVES WALL MOUNTED DOOR STOP.
  - 23 10 GALLON WATER HEATER MOUNTED ON SHELF ABOVE CEILING. SHELF CONSTRUCTION: 3/4" PLYWOOD ON 6" 20GA. CEILING JOIST AT 24"o.c.
  - 24 PROVIDE A SIGN STATING FIRE EXTINGUISHER INSIDE DOOR.
  - 25 REFRIGERATION BY DOLLAR GENERAL.
  - 26 FRAME CAVITY AT WATER METER LOCATION & PROVIDE 1'-6"x1'-6" STEEL ACCESS PANEL.
  - 27 YELLOW PAINTED VERTICAL FACE OF CURB WHERE CURB IS LESS THAN 6" HIGH AND 6" IN FROM OUTSIDE EDGE AT TOP OF CURB AT RAMP. - REFER TO SITE PLAN.
  - 28 PROVIDE 4'-5"-0" PURLIN MOUNTED UNISTRUT OR 1 1/4" PRE-PUNCHED CALV. ANGLES FOR SIGNAGE (BY OTHERS) W/ 1/16" AIR-CRAFT WIRE AND CRIMPS. HANG TO 7'-0" A.F.F.

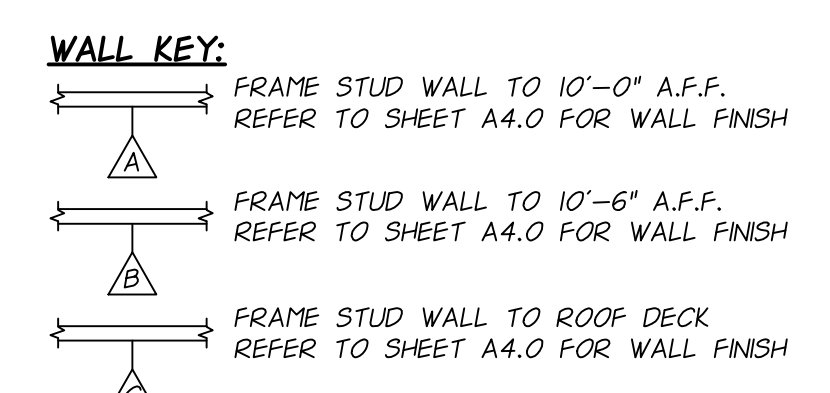
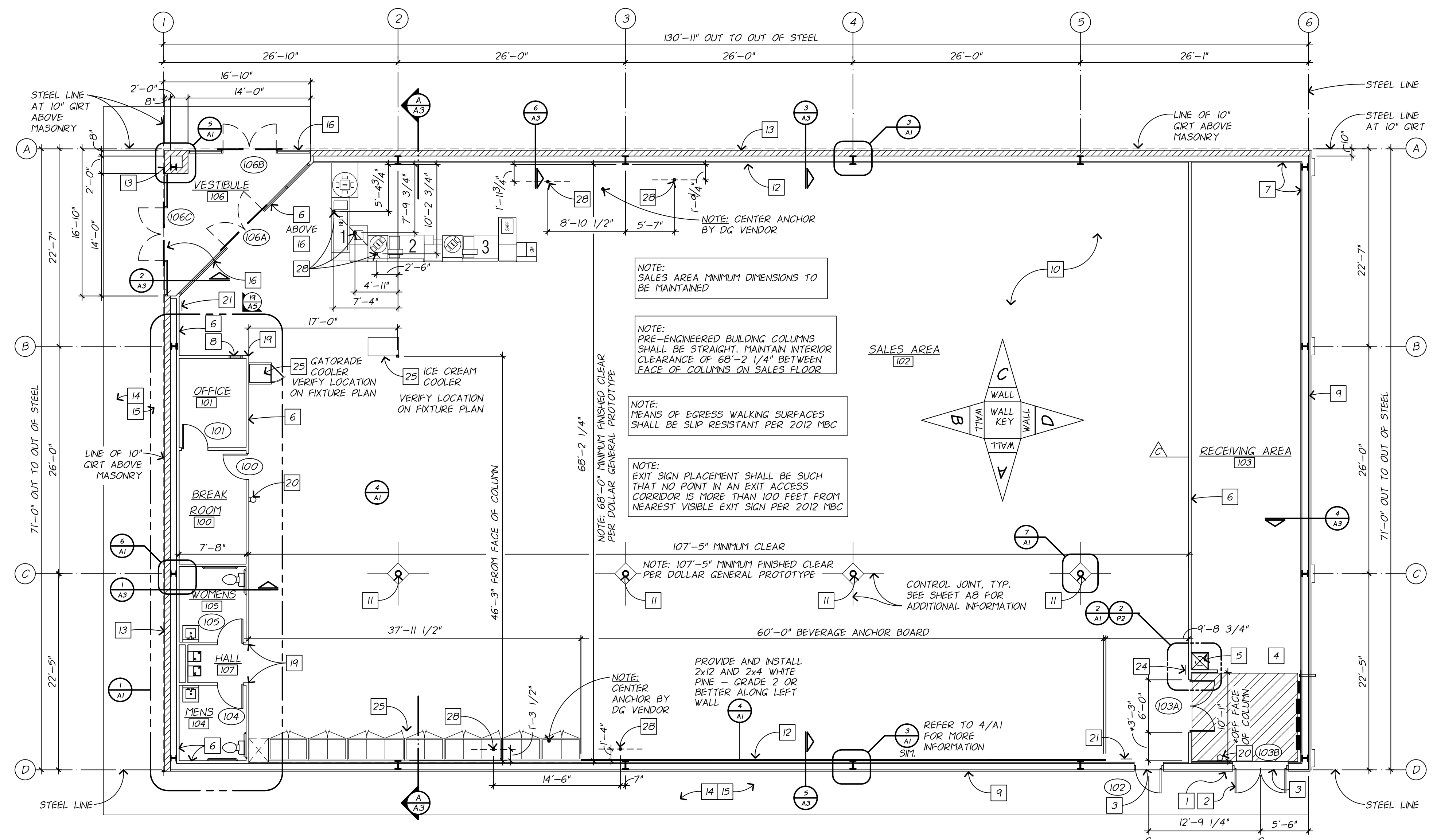
**ANCHOR BOARD NOTES:**

1. PROVIDE AND INSTALL 2x12 WHITE PINE - GRADE 2 OR BETTER.
2. PROVIDE AND INSTALL 2x4 WHITE PINE - GRADE 2 OR BETTER.
3. FASTEN THE 2x12 TO THE WALL WITH THE TOP EDGE OF THE BOARD AT 8" A.F.F.
4. FASTEN THE 2x4 TO THE WALL WITH THE TOP EDGE OF THE BOARD AT 12" A.F.F. STARTING FROM THE END OF THE LAST COOLER AND STOPPING 5'-0" FROM REAR WALL.
5. PRE-DRILL PLOT HOLES IN ALL BOARDS PRIOR TO INSTALLATION TO PREVENT WOOD SPLITS.

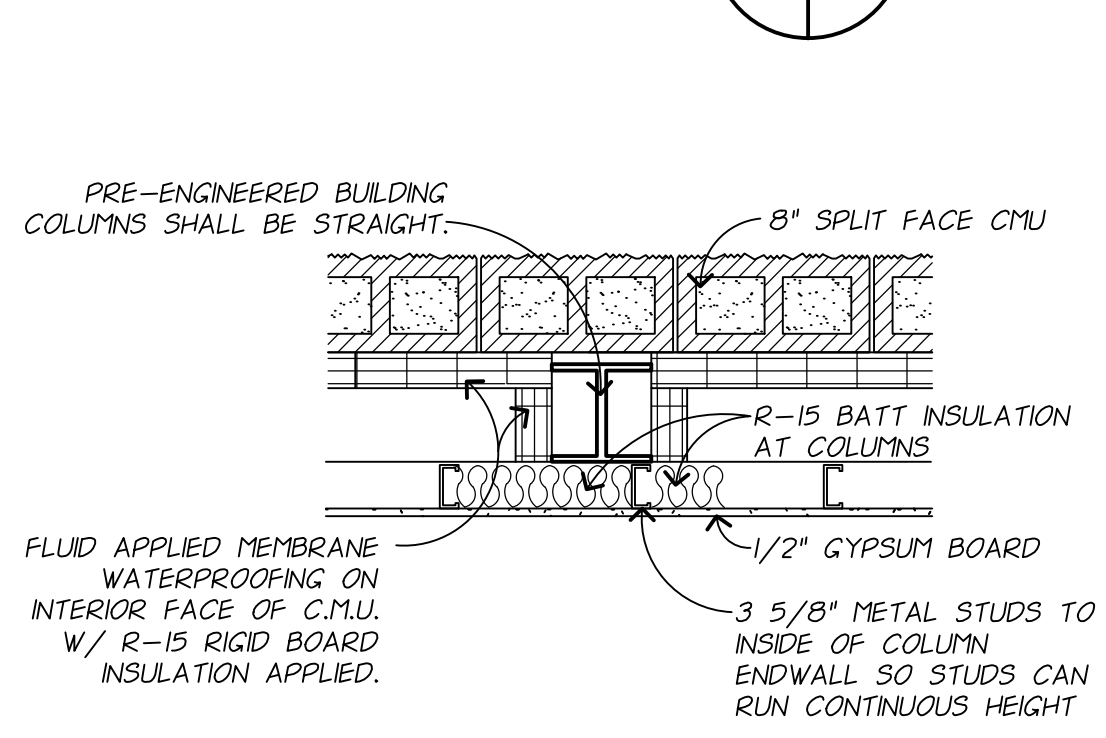
6. SECURE THE 2x12 WITH THREE SELF-TAPPING SCREWS PER WALL STUD. MINIMUM SCREW SIZE IS 4"x1/4".
7. FASTEN THE 2x4 WITH ONE SELF-TAPPING SCREWS PER WALL STUD. MINIMUM SCREW SIZE IS 4"x1/4".
8. CAULK THE EDGES OF THE 2x12 AT THE TOP AND BOTTOM WHERE IT MEETS THE WALL PRIOR TO PAINTING.
9. PRIME AND PAINT BOTH BOARDS TO MATCH WALL COLOR.



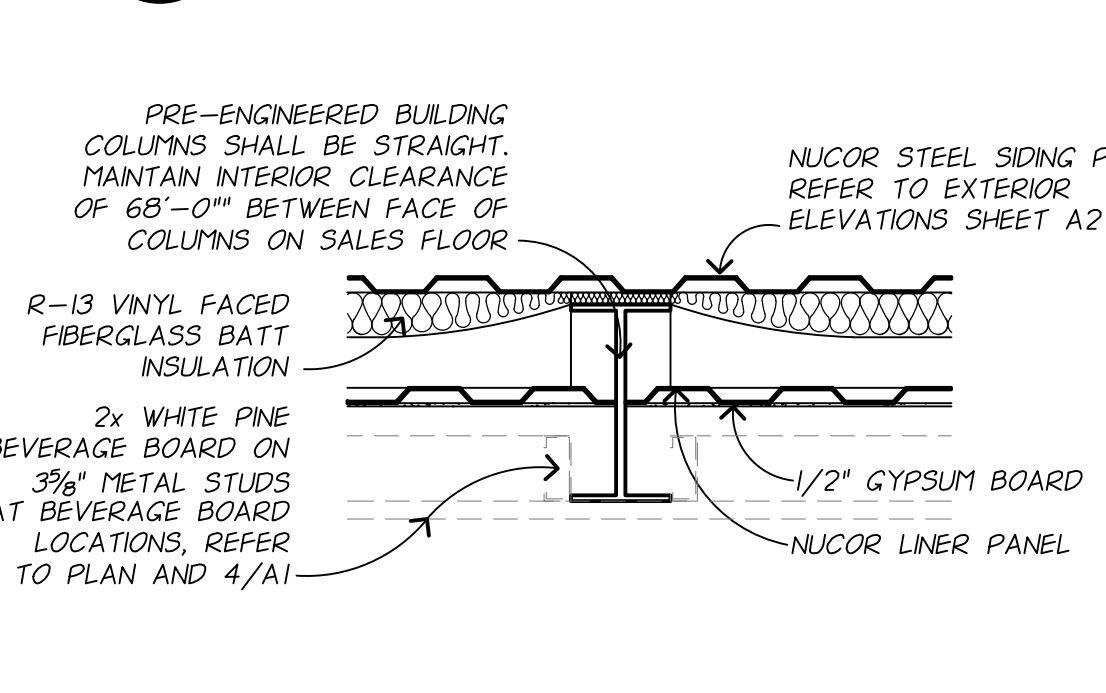
**4 ANCHOR BOARD DETAIL**  
SCALE: 3/4"=1'-0"



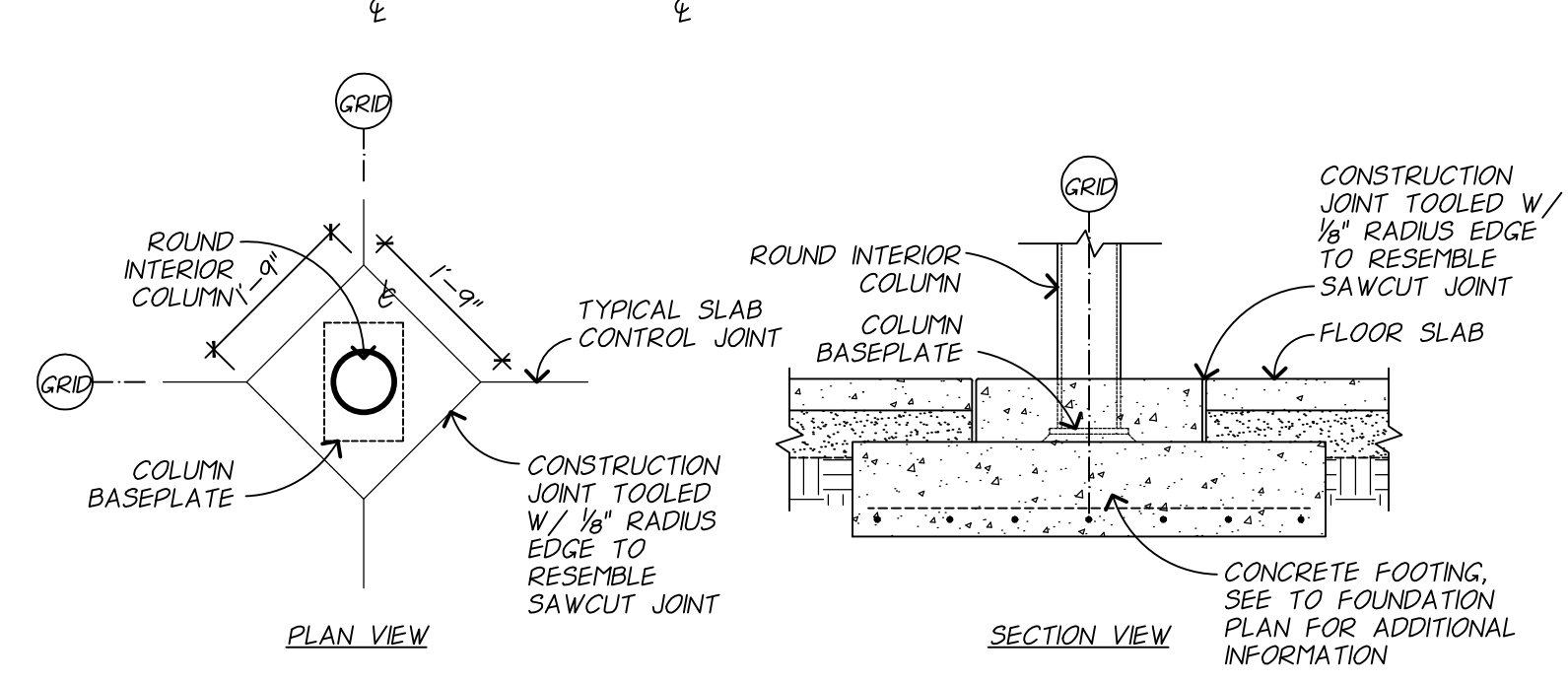
**FLOOR PLAN**  
SCALE: 1/8"=1'-0"



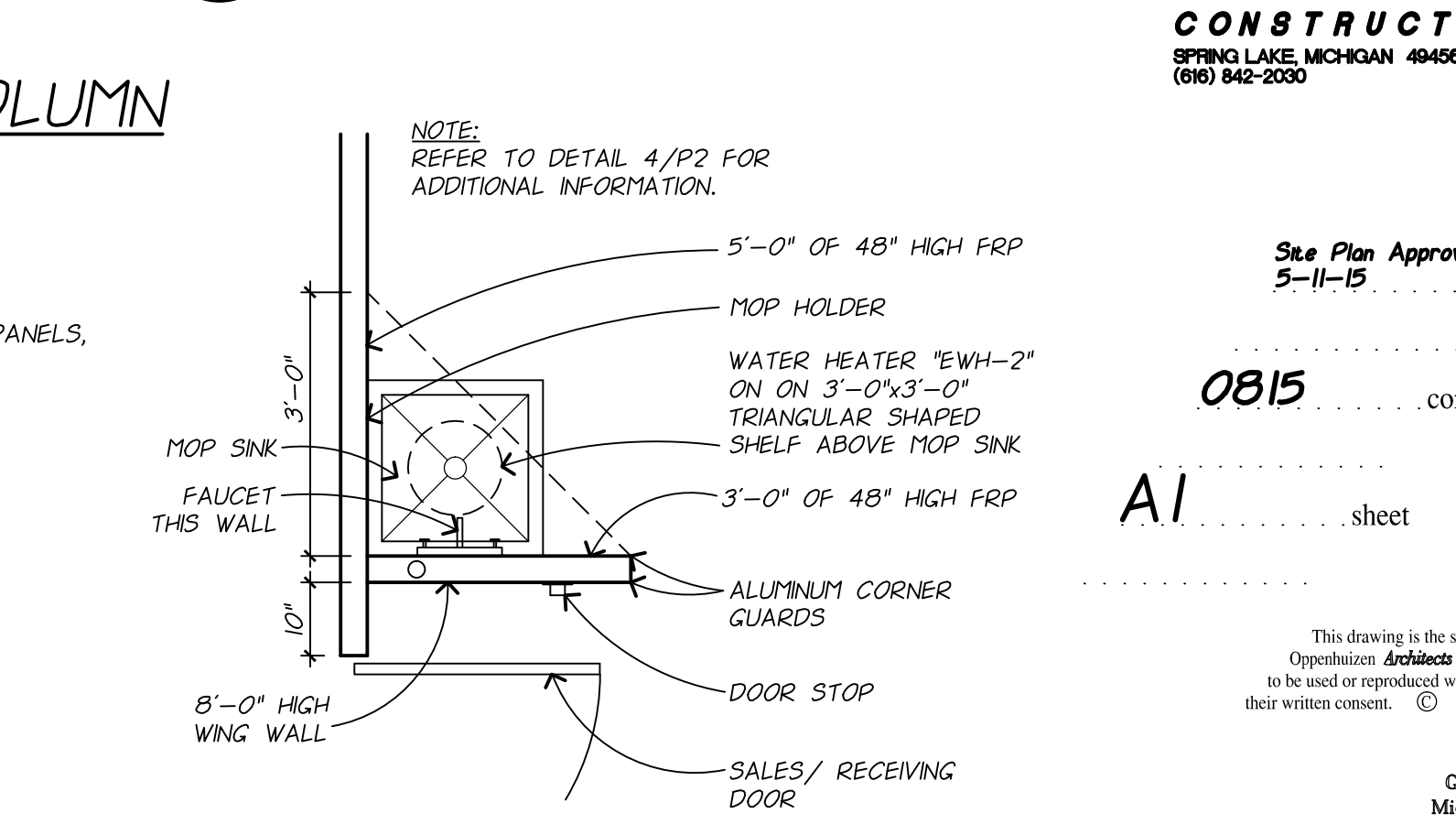
**6 DETAIL @ ENDWALL COLUMN**  
SCALE: 3/4"=1'-0"



**3 DETAIL @ SIDEWALL COLUMN**  
SCALE: 3/4"=1'-0"



**7 SLAB ISOLATION DETAIL**  
SCALE: 3/4"=1'-0"



**2 ENLARGED DETAIL**  
SCALE: 1/2"=1'-0"



See Plan Approval  
5-11-15 ..... date  
0815 ..... commission  
A1 ..... sheet



## Dollar General - Owosso Detention Basin Design

**Design Criteria:** Determine the amount of storage required for the proposed Dollar General site located at 210 Shiawassee Street. The proposed outlet is restricted to a 6" storm sewer and the volume required is computed using the Modified Chicago Method for a 25 year storm event.

**Given:**

Land Use Breakdown	<u>AC</u>	<u>C</u>
Building / Pavement	0.67	0.9
Open Space / Lawn	0.14	0.2
<b>Totals</b>	<b>0.81</b>	<b>0.78</b>

Runoff coefficient, C = 0.78  
 Drainage Area, A = 0.81 Ac  
 Release Rate = 1.73 cfs/Ac

**Method:** Using the Modified Chicago Method (see attached) the following storage volumes are required.

**Detention:** 25 year detention required = 0.03 Ac-Ft  
 = 1477 CF

The volume is provided in 230 feet of 36" storm sewer

Size of Pipe = 36 in  
 Length of Pipe = 230 l.f.

Total Volume Available = 1626 CF

**Restricted Outlet:** Orifice Equation for a 6 orifice  
 $Q_{\text{allowable}} = 1.73 \times 0.81 \text{ Acre} = 1.40 \text{ cfs}$

$$Q_{6'' \text{ orifice}} = C_d A_{6'' \text{ pipe}} (2gH)^{1/2}$$

$$g = 32.2 \text{ ft/s}^2$$

$$H_{\text{avg}} = (732.60 - 728.00 - 0.250) / 2 = 2.18 \text{ ft}$$

$$A_{6'' \text{ pipe}} = \pi (0.25)^2 = 0.196 \text{ sf}$$

$$C_d = 0.61$$

$$\Rightarrow Q_{6'' \text{ orifice}} = 1.42 \text{ cfs}$$

**Overflow:** The system will overflow out of the proposed catch basin at the northwest corner of the property into Clinton Street.

#151096E

5/14/2015

Project: Dollar General - Owosso

File #: 151096E

Date: 5/12/2015

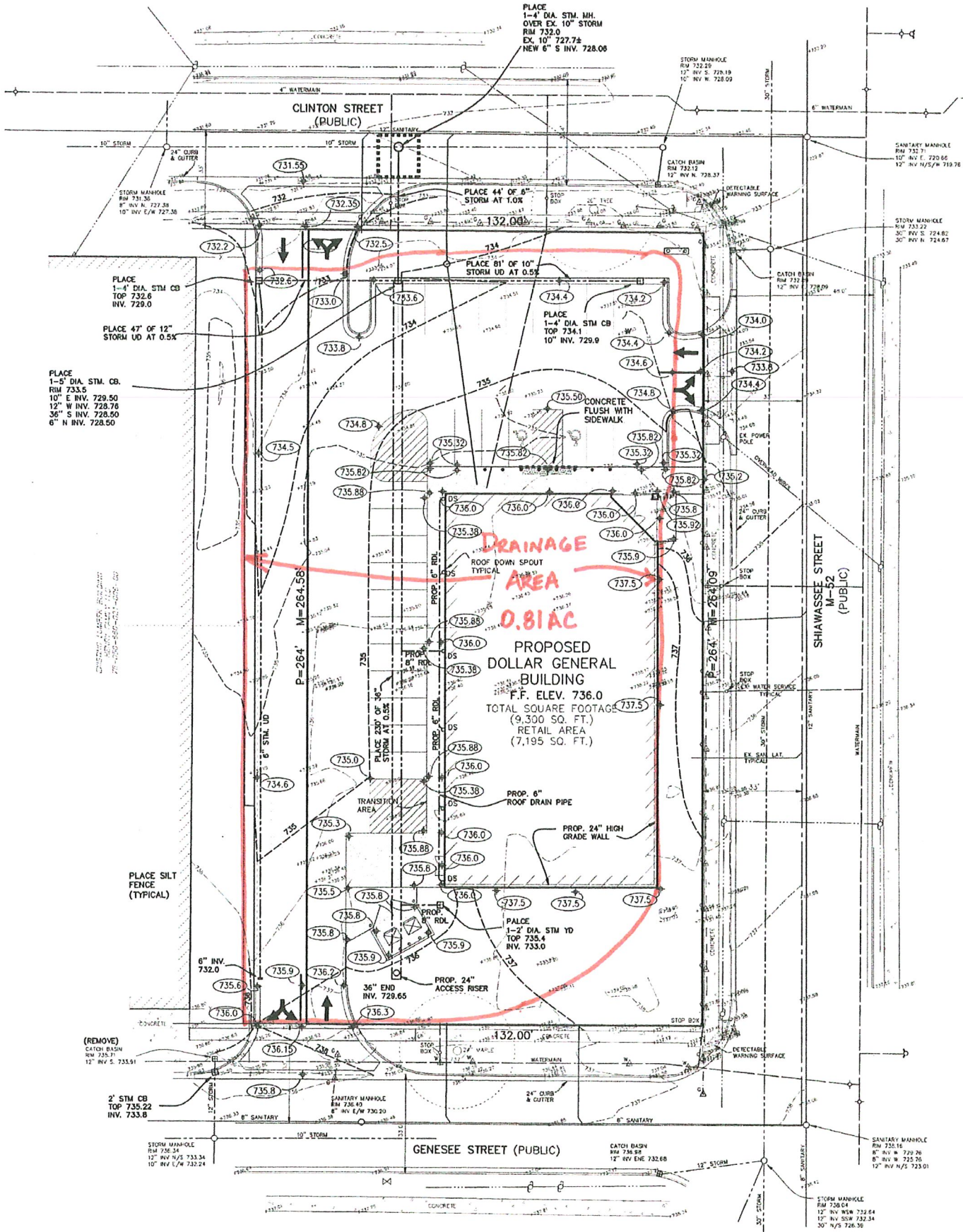
Detention Calculation - Chicago Method  
25 Year Occurance

D.A.= 0.81  
C = 0.78  
Qr = 1.73

t	i(25)	Ci	Qr	Ci-Qr	Storage
0.25	4.800	3.74	1.73	2.01	0.502 Maximum
0.5	3.300	2.57	1.73	0.84	0.420
0.75	2.600	2.03	1.73	0.30	0.222
1	2.090	1.63	1.73	-0.10	-0.102
1.5	1.750	1.36	1.73	-0.37	-0.550
2	1.290	1.00	1.73	-0.73	-1.450
2.5	1.200	0.93	1.73	-0.80	-1.988
3	0.950	0.74	1.73	-0.99	-2.970
4	0.780	0.61	1.73	-1.12	-4.489
5	0.650	0.51	1.73	-1.22	-6.118
6	0.557	0.43	1.73	-1.30	-7.777
7	0.500	0.39	1.73	-1.34	-9.383
8	0.460	0.36	1.73	-1.37	-10.973
9	0.420	0.33	1.73	-1.40	-12.625
10	0.387	0.30	1.73	-1.43	-14.285
12	0.350	0.27	1.73	-1.46	-17.488
14	0.310	0.24	1.73	-1.49	-20.839
16	0.270	0.21	1.73	-1.52	-24.315
18	0.232	0.18	1.73	-1.55	-27.887
20	0.210	0.16	1.73	-1.57	-31.328
22	0.195	0.15	1.73	-1.58	-34.718
24	0.185	0.14	1.73	-1.59	-38.061

Storage Required =  $0.502 \times 0.0833 \times 0.81 = 0.034$  Ac-ft





**DRAINAGE AREA**  
0.81 AC

**PROPOSED DOLLAR GENERAL BUILDING**  
F.F. ELEV. 736.0  
TOTAL SQUARE FOOTAGE (9,300 SQ. FT.)  
RETAIL AREA (7,195 SQ. FT.)



**DRAINAGE STUDY MAP**  
**DOLLAR GENERAL- OWOSSO**